



The City of Travelers Rest

125 Trailblazer Drive
Travelers Rest, SC 29690
(864) 834-8740

Public Notice: N/A

***PLANNING
COMMISSION***

REGULAR MEETING

AGENDA

DATE OF MEETING: **March 28, 2023**

TIME OF MEETING: 6 PM

LOCATION: Council Chambers

1. OPENING

- a. Call to Order & Opening Remarks
- b. Roll Call
- c. Approval of Minutes – November 29, 2022

2. NEW BUSINESS

- a. TR23-01 – Pinestone PD – State Park Road Warehouses Final Development Plan (FDP) Review
- b. TR23-02 – Pinestone PD – Minor Change
- c. Five Year Comprehensive Plan Review – Overview and Discussion

3. OTHER BUSINESS

- a. Discussion of Planning Commission regularly scheduled meeting dates

4. ADJOURN

MINUTES
TRAVELERS REST PLANNING COMMISSION
11/29/2022
6:00 PM Council Chambers

MEMBERS PRESENT: Vice Chair Tony Rackley, Michelle Garrison, Evan Cantrell, Diane Maxwell

MEMBERS ABSENT: Chair Rebecca Cooper and Don Watson

STAFF PRESENT: Mike Forman

PUBLIC PRESENT: Rick Thonness, Mark Forley, Marianne Rice

1. OPENING

- a. **Call to Order/Opening Remarks:** Acting Chair Rackley called the meeting to order at 6:00 PM.
- b. **Roll Call:** Present members stated their names.
- c. **Approval of Minutes:** Minutes for the October 25, 2022, meeting was motioned for approval by Commissioner Garrison and seconded by Commissioner Maxwell. No discussion. Motion passed 4-0.

2. NEW BUSINESS

- a. **TR 22-07: Request for Zoning Map Amendment from R-M, Residential Multifamily to C-2 Commercial at 3 Plaza Drive (p/o TMS #0497000504501).**

Acting Chair Rackley presented the item to the commission and asked staff to provide additional details. Staff provided details regarding the request. Acting Chair Rackley opened the Public Hearing and asked if there were any comments from the audience. Hearing none, Acting Chair Rackley asked members of the Planning Commission if they had any questions for staff. Acting Chair Rackley asked for a motion to recommend approval of the request. Commissioner Maxwell made the motion, seconded by Commissioner Garrison. Motion was approved by a vote of 4-0.

- b. **TR 22-08: Request for a 43 lot Preliminary Subdivision at 607 N. Main Street (The Refuge) (TMS #0506050100200, 0506050100300, 0506050100400, 0506050100500).**

Acting Chair Rackley presented the item to the commission and asked staff to provide additional details. Staff provided details regarding the request. Acting Chair Rackley opened the Public Hearing and asked if there were any comments from the audience. Mr. Mark Forley had questions related to entrances and HOA rules regarding solar panels. Mr. Thonness responded that solar panels would not be allowed. Ms. Marianne Rice has concerns over traffic and the real estate signage showing different acreage than what is shown on the application. Staff

responded that the actual acreage is 9.54 and the real estate signage is not relevant for this application. Acting Chair Rackley responded that traffic is a major concern in the city as well as in surrounding county-controlled areas. Acting Chair Rackley closed the public hearing, then asked if the commission had any additional questions for staff. Acting Chair Rackley asked for a motion to approve this request. Commissioner Cantrell made the motion to approve, seconded by Commissioner Maxwell. Motion was approved 4-0.

3. OTHER BUSINESS

None.

- 4. ADJOURN:** Motion to adjourn was made by Commissioner Garrison and seconded by Commissioner Cantrell. No discussion. Motion passed 4-0 at 6:31PM.

DRAFT



**CITY OF TRAVELERS REST
PLANNING & ZONING DEPARTMENT
PLANNING COMMISSION**

AGENDA ITEM

March 28, 2023

- CASE NUMBER:** TR 23-01
- SUBJECT:** Final Development Plan (FDP) Review
- APPLICANT:** Jeffery B. Randolph - Pinestone Opportunity Fund LLC and South End Circle LLC
- LOCATION:** State Park Road and Lumpkin Street
- TAX MAP NUMBER(S):** 0485000101203, 0485000100200 & 0485000100201
- REQUEST:** The applicant requests approval of a Final Development Plan for a 4+ acre portion of the Pinestone PD at the corner of State Park Road and Lumpkin Street, in accordance with the Pinestone Planned Development (PD) Preliminary Development Plan and Statement of Intent as approved by City Council via Ordinance #O-09-22.
- BACKGROUND:** The City of Travelers Rest Zoning Ordinance states that no building permit or certificate of occupancy shall be issued in a PD district until the Planning Commission, acting upon the recommendation of the Planning Commission staff, has approved and there is recorded a Final Development Plan (FDP) meeting the requirements of Section 5:9.13 of the Travelers Rest Zoning Ordinance.
- REVIEW CRITERIA:** Section 5:13.9 of the Travelers Rest Zoning Ordinance specifies that the submitted FDP shall be submitted to the City of Travelers Rest. The FDP shall set forth specific design characteristics of the PD in accordance with the previously approved Preliminary Development Plan and Statement of Intent and shall include but not be limited to the following information:
- A. Vicinity map, title block, scale, north arrow, and property line survey.
Staff note: Complete via Final Development Plan
 - B. Location and proposed use of all buildings or structures within the Planned Development and gross square footage.
Staff note: Complete via Final Development Plan

C. Names of boundary streets.

Staff note: Complete via Final Development Plan

D. Number of residential dwelling units by type and number of bedroom units in each.

Staff note: N/A

E. Location of any utility easements.

Staff note: Complete via Utility Easement Plan (Exhibit E) and Utility Easements Plan

F. Total floor area for all nonresidential uses by type.

Staff note: Complete via Final Development Plan

G. Open space areas, specifying the proposed treatment or improvements of all such areas and delineating those areas proposed for specific types of developed recreational facilities.

Staff note: Complete via Final Development Plan

H. All off-street parking and loading areas, structures, the total number of spaces, and the dimensions.

Staff note: Complete via Final Development Plan

I. The number of acres devoted to each land use.

Staff note: Complete via Final Development Plan

J. Sketches and/or elevations of typical buildings/structures and their design standards.

Staff note: Complete via Building Plans

K. The site's traffic circulation plan, including the location of curb cuts and points of ingress/egress, and also including the location and width of all streets, drives, medians, service areas, dumpster pads, entrances to parking areas, etc.

L. The site's lighting plan, including the location, height, and type of all exterior fixtures.

Staff note: Completed via Conceptual Lighting Plan

M. The site's Landscape, Screening/Buffer Plan.

Staff note: Completed via Landscape Plan

N. The site's Signage Plan, which includes all exterior signage of the development.

Staff note: Samples are included via Signage renderings

O. Yard dimensions from the development boundaries and adjacent streets.

Staff note: Complete via Final Development Plan

P. A letter from the City Engineer stating that a detailed drainage plan has been submitted and approved.

Staff note: Form attached from Alliance Engineering, dated 11/13/2019

Q. Other such information or descriptions as may be deemed reasonably appropriate for Planning Commission review.

CONCLUSION:

The Planning Commission, acting upon the recommendation of the planning staff, may approve or disapprove the Final Development Plan submitted by the applicant. In reviewing the Final Development Plan, the Planning Commission may require any such design modifications as necessary to assure compliance with the approved Preliminary Development Plan. In the event that the Planning Commission finds that the Final Development Plan is not in accordance with the approved Preliminary Development Plan, it shall disapprove the final plan.

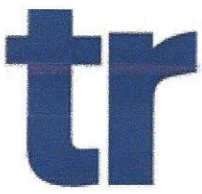
If approved by the Planning Commission, it is the responsibility of the applicant to ensure that the Final Development Plan and Statement of Intent are recorded properly with Greenville County Register of Deeds.

This review is only for that portion of the Pinestone PD under consideration, that being the 4+ acre former Warehouse site as approved by City Council via Ordinance #O-09-22.

STAFF REC'D:

Based on its findings, Staff recommends approval of this Final Development Plan as presented, with two conditions:

- The proposed sidewalk along the eastern side of Lumpkin Street shall be revised to a multi-use pathway; in addition the proposed mid-block crossing shown across Lumpkin Street at the southwest corner of the FDP shall be removed. These changes will enhance the usability and safety of the entire road network for this planned community.
- All signage must be reviewed and permitted at time of permitting.



**APPLICATION FOR
FINAL DEVELOPMENT PLAN (FDP)**

Contact Planning & Zoning (864) 834-8740

Office Use Only:	
Application# _____	Fees Paid _____
Date Received _____	Accepted By _____
Date Complete _____	App Deny Conditions _____

APPLICANT/OWNER INFORMATION

	APPLICANT	PROPERTY OWNER
*Name:	Teffrey B Randolph	Pinestone Opportunity Fund LLC Pinestone South End Circle LLC
*Title:	Agent	1
*Address:	607 Pendleton Street Suite 200	1491 E. Pinnett Street Greer S.C.
*State:	Greenville, S.C. 29601 South Carolina	South Carolina
*Zip:	29601	29651
*Phone:	864.420.2504 / 239.6683	864.660.8050
*Email:	trandolph@trgcommunities.com	

*SELECT REVIEW TYPE: FDP Planning Commission Review FDP Staff Review

*PD NAME Pinestone Mixed Use *PD ORDINANCE # 03-19

*ORIGINAL APPLICATION # (provide # of rezoning request) TR 18-08

*STREET ADDRESS 6701 State Park Road

*TAX MAP # 0485000101201, 0485000101203, 0485000100200 *ACREAGE 4.28

*BUILDING/PHASE

*PROPOSED USE Commercial (Restaurant, Retail, and Office)

INSTRUCTIONS

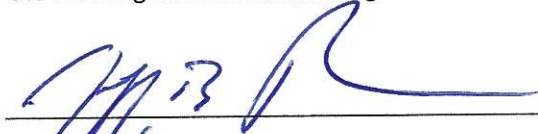
- The application and fee, made payable to the City of Travelers Rest, must be submitted to the no later than 2:00 on the date reflected on the attached schedule for Planning Commission.
 - PD Final Development Plan (FDP) – Initial Approval \$250.00, public hearing may be required
 - PD Final Development Plan (FDP) – Major Modification \$50.00, public hearing required
 - PD Final Development Plan (FDP) – Minor Modification \$50.00, public hearing required
- Staff will review the application for sufficiency pursuant **Section 5:9.13, Final Development Plan**, prior to routing the application for staff review. If the application is determined to be insufficient, the Director shall contact the Applicant to request that the Applicant resolve the deficiencies. You are encouraged to schedule an application conference to review your application for sufficiency at the time it is submitted. Please call (864) 834-8740 to schedule an appointment.

Please read carefully: The applicant and property owner affirm that all information submitted with this application; including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

In addition, the applicant affirms that the applicant or someone acting on the applicant's behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

If the planning office by separate inquiry determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner, or act to have the restriction terminated or waived, then the planning office will indicate in its report to the planning commission that granting the requested change would not likely result in the benefit the applicant seeks.

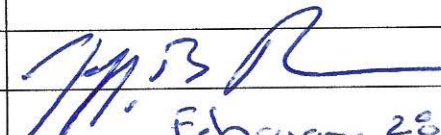
Furthermore, my signature (applicant) indicates that I understand and consent that this matter will appear before the Planning Commission for consideration and that any recommendation, for approval or denial, by the Planning Commission will be presented to the City Council at their next regularly scheduled meeting to be held on the fourth Monday of the month following the Planning Commission meeting in which the matter was heard.

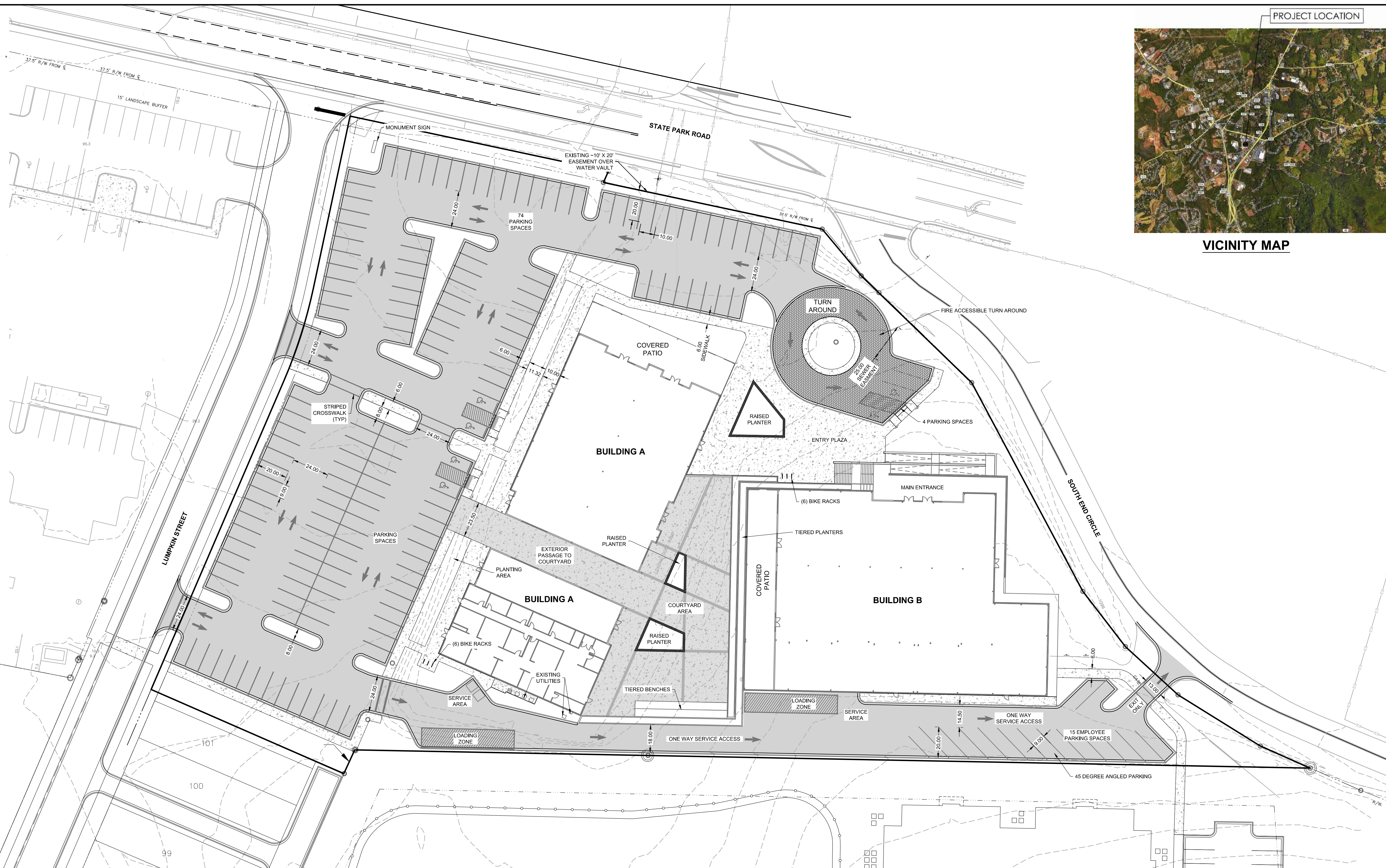


February 28, 2023
DATE

*APPLICANT SIGNATURE

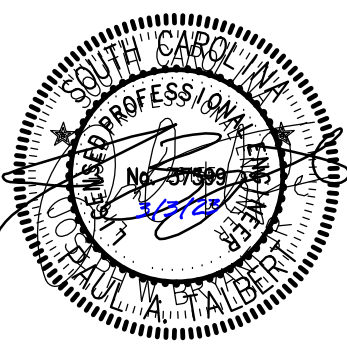
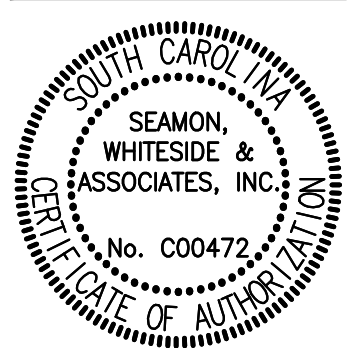
4. To that end, the applicant hereby affirms that the tract or parcel of land subject of the attached application is _____ or is not restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity.

*Signatures	
Applicant	
Date	
Property Owner/Authorized Agent	
Date	February 28 2023



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GREENVILLE, SC 864.298.0534
SUMMERVILLE, SC 843.972.0710
SPARTANBURG, SC 864.272.1272
CHARLOTTE, NC 980.312.5450
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PINESTONE WAREHOUSES
PINESTONE MIXED USE
TRAVELERS REST, SC

EXISTING SITE DATA:
Total Acreage: 40.47 Ac.
Acreage Covered in this FDP: 4.28 Ac.
Existing Zoning: PD
TMS#s: 0485000101201, 0485000101203, 0485000100200

PROPOSED SITE DATA:
Proposed Land Use: Planned Development - Residential (PD-R)
Land Use Acreage Breakdown:
Single Family Residential: 21.54 acres
Multifamily Residential: 13.92 acres
Commercial: 9.28 acres (4.28 covered in this FDP)

Multifamily and Single Family Residential:
Included in previously submitted Final Development Plan

Hwy 25 Commercial:
5.01 acres to be submitted in separate final development plans at a later date.

STATE PARK ROAD COMMERCIAL:
(4.28 acres)

Commercial Building A: 19,286 sf
4,835 sf of office existing in Building A

Commercial Building B: 19,923 sf
Total: 39,209 sf

Covered outdoor space: 4,910 sf

Proposed Uses:
Commercial Retail: 9,643 sf (24.5%)
Restaurant: 19,923 sf (51%)
Office: 9,643 sf (24.5%)
(4,835 sf existing)
Total: 39,209 SF

**Not all users are determined at the time of the FDP, according to Statement of Intent, restaurant users will make up 50-55% of space, with office and retail filling the remaining space. Additional parking to be provided per SOI if restaurant use exceeds the 51% shown.*

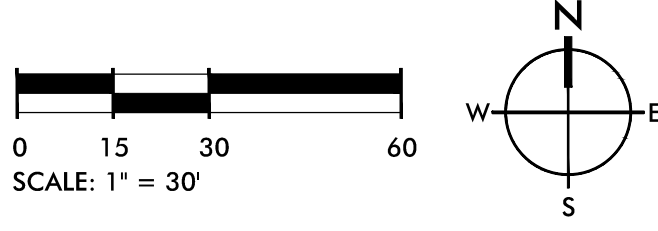
PARKING DATA:

Land Use	Square Footage	Percent of Total Project SF	Parking By Code	Base Parking Required (TR Code)	25% Adaptive Reuse Reduction	10% Common Space Factor	Bike Rack Credit (1 space per 6 racks)	Weekday			Weekend		Nighttime				
								Daytime	Evening	2	Daytime	Evening	(12 am-6 am)				
Office	9,643	24.5%	1 per 400	24	18	16	12 bike spaces	100%	16	10%	2	10%	2	5%	1	5%	1
Retail	9,643	24.5%	1 per 250	39	29	26	2 credits	60%	16	90%	23	100%	26	70%	18	5%	1
Restaurant (indoor)	19,923	51.0%	1 per 100	199	149	134		50%	67	100%	134	100%	134	10%	13		
Totals	39,209			262	196	177	175		99		160		162		154		16
								Parking Total				Shared Parking Total					

Parking Provided:
175 parking spaces provided
6 accessible parking spaces
12 bike spaces

OPEN SPACE CALCULATIONS:
Final Development Plan Acreage: 4.28 acres
Final Development Plan Open Space: 0.95 acres (22.2%)

PARKING DIMENSIONS:
All Parking areas designed to meet parking standards on page F-7 of the Travelers Rest Zoning Ordinance.
90 degree spaces: 20' x 9', 24' parking aisle
60 degree spaces: 9' width, 21' width allowed for parking angle (10.5' horizontal per parking space)
parallel parking spaces: 23' x 9' w/ 60 degree taper



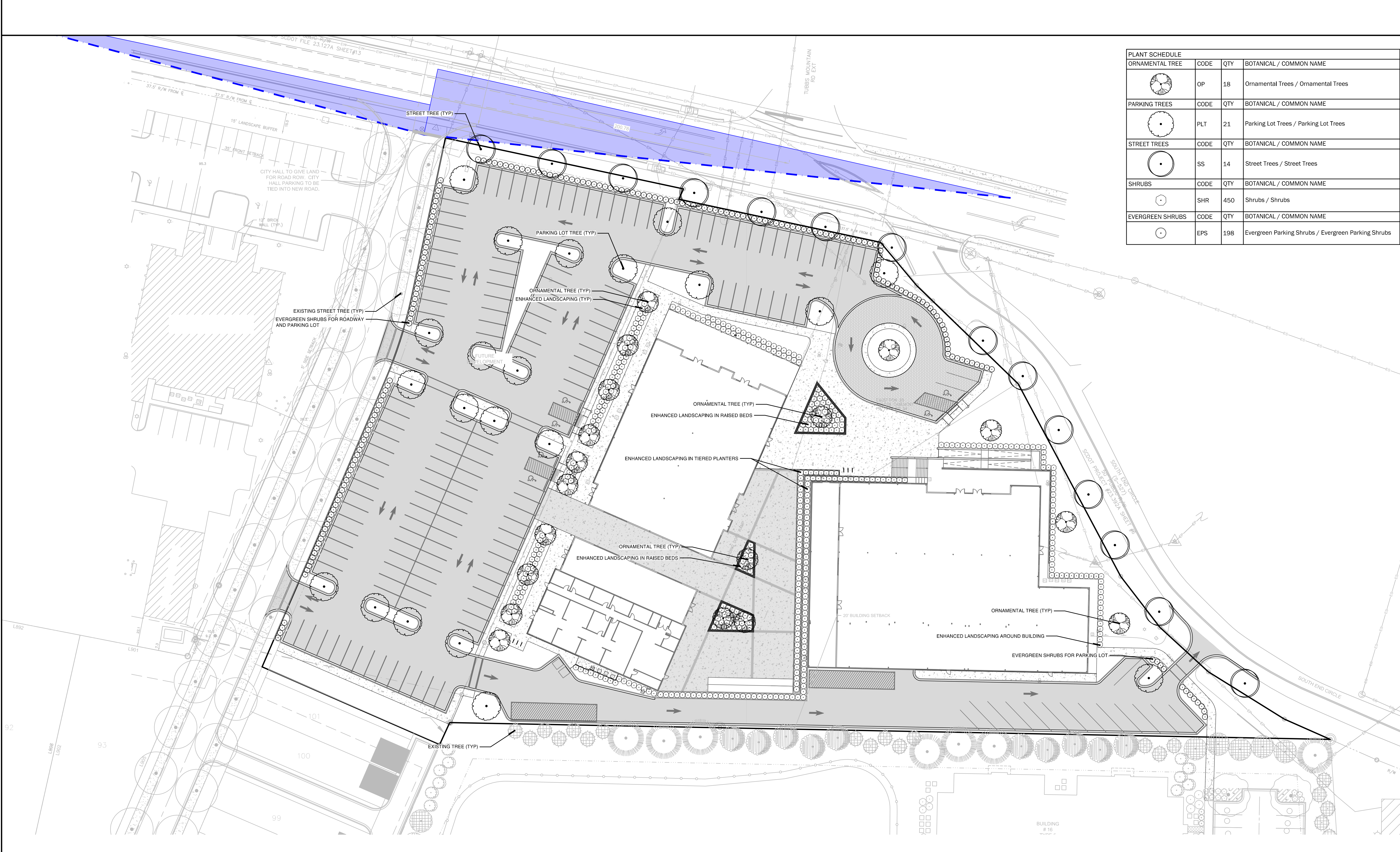
SW+ PROJECT: GR3757
DATE: 02/28/2023
DRAWN BY: CD/ZB
CHECKED BY: NM/PT

REVISION HISTORY

NO.	DESCRIPTION

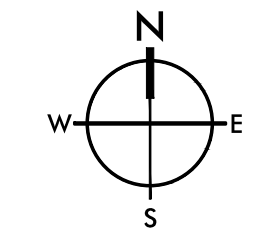
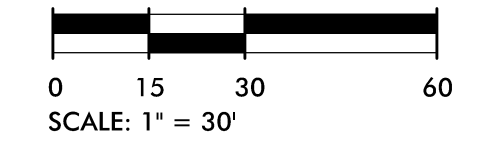
FINAL DEVELOPMENT PLAN

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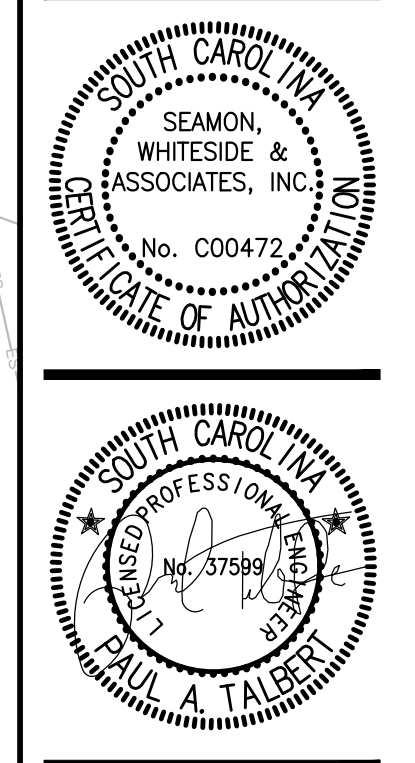


PLANT SCHEDULE			
ORNAMENTAL TREE	CODE	QTY	BOTANICAL / COMMON NAME
	OP	18	Ornamental Trees / Ornamental Trees
PARKING TREES	CODE	QTY	BOTANICAL / COMMON NAME
	PLT	21	Parking Lot Trees / Parking Lot Trees
STREET TREES	CODE	QTY	BOTANICAL / COMMON NAME
	SS	14	Street Trees / Street Trees
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	SHR	450	Shrubs / Shrubs
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	EPS	198	Evergreen Parking Shrubs / Evergreen Parking Shrubs

NOTES:
 1. ALL DISTURBED AREAS TO BE COVERED BY MULCH VEGETATION, SOD/SEED, OR HARDSCAPE. DO NOT LEAVE BARE SOIL EXPOSED.



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CREEKSIDE COTTAGES SUBDIVISION
 GREENVILLE COUNTY, SC
 SCOUT REALTY GROUP

SW+ PROJECT: GR3505
 DATE: 03/03/2021
 DRAWN BY: NM, CG
 CHECKED BY: CW, PT

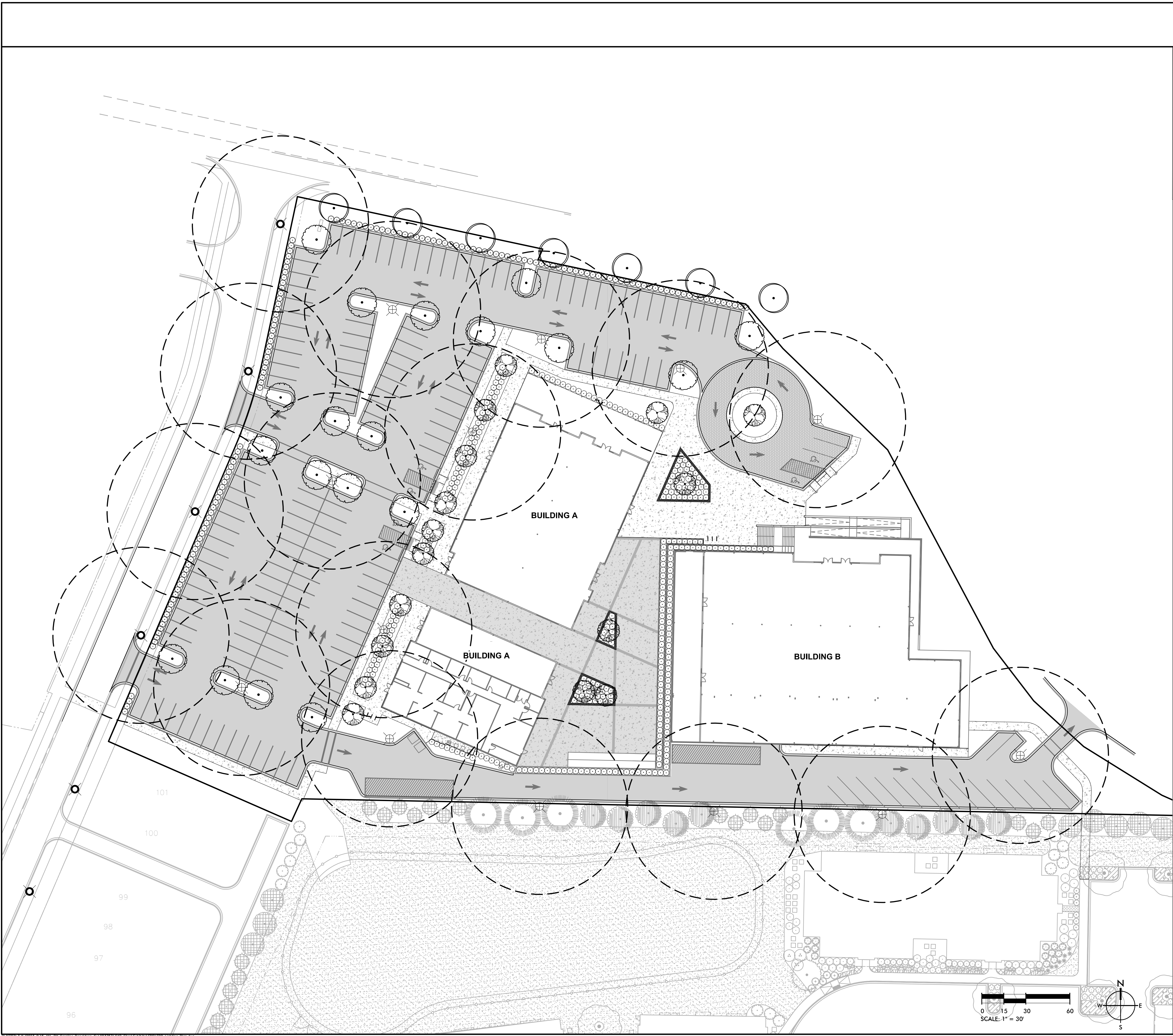
REVISION HISTORY	

FINAL DEVELOPMENT PLAN - LANDSCAPE PLAN

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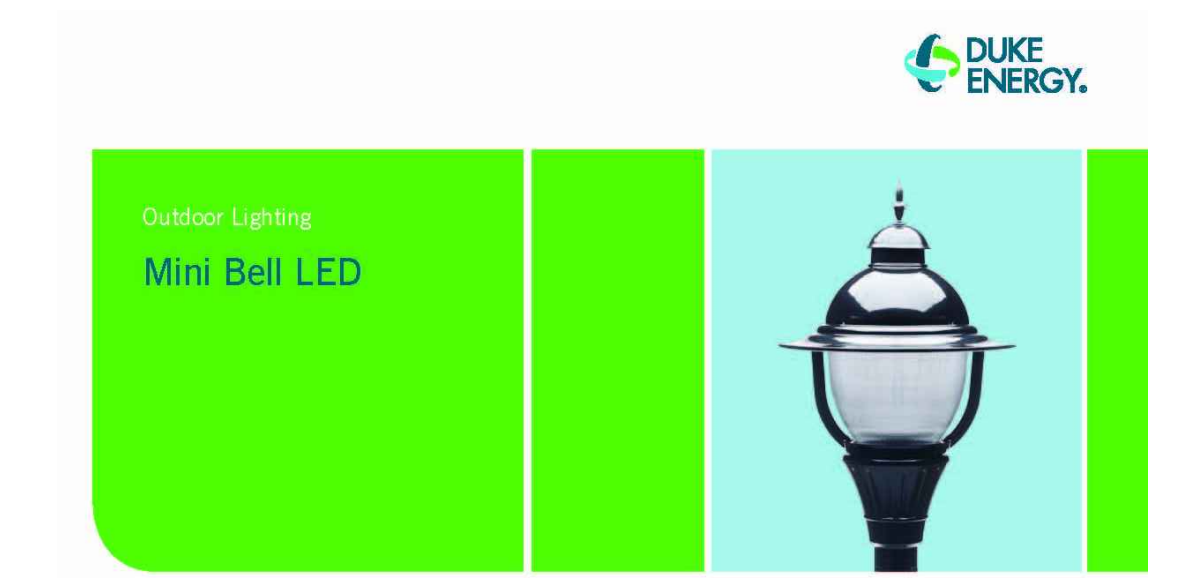
LIGHTING_SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
⊗	PARKING LOT LIGHT	13	
⊙	STREET LIGHT (existing in SF FDP)	4	

Street Light: 12' Ht. LED Full Cutoff fixture.
Mini Bell LED by Duke Energy or Approved Equal

Parking Lot Light: LED Full Cutoff Fixture
Shoobox Pedestrian LED by Duke Energy or approved equal. 12' mounting height.

Final Fixture Placement to be determined by photometric study and design by electrical engineer, but maximum spacing will remain consistent with distances required by city of TR. Lights along Pinestone Drive and around traffic circle shall meet all SCDOT Roadway Lighting Standards



The Mini Bell LED is an energy-efficient luminaire with a classic, sophisticated design. This fixture is an excellent choice for illuminating pathways and residential communities.

LED (light-emitting diode)	50 watts
Mounting height	12'
Color	Black
Poles	Colonial concrete Victorian concrete Washington concrete
Applications	Neighborhoods Parks Shopping centers Streets



Pole available:

Name	Mounting height	Color
Colonial concrete	12'	Black
Victorian concrete		Black, Gray-green
Washington concrete		Black, Gray

Features	Benefits
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance included	Eliminates high and unexpected repair bills
Electricity included	Less expensive than metered service
Warranty included	Worry-free
One low monthly cost on your electric bill	Convenience and savings for you
Turnkey operation	Provides hassle-free installation and service
Backed by over 40 years of experience	A name you can trust today ... and tomorrow



The energy-efficient Shoobox Pedestrian LED combines a decorative, contemporary style with versatility and ample lighting effect that is perfect for streets, parking lots, commercial buildings and residential communities. The Shoobox "S" Pedestrian LED provides excellent color rendition along with a controlled light pattern that reduces glare and keeps the light directed only where you want it.

LED (light-emitting diode)	50 watts
Mounting heights	12', 17'
Colors	Black Dark Bronze
Pole	Colonial concrete
Applications	Neighborhoods Parks Shopping centers

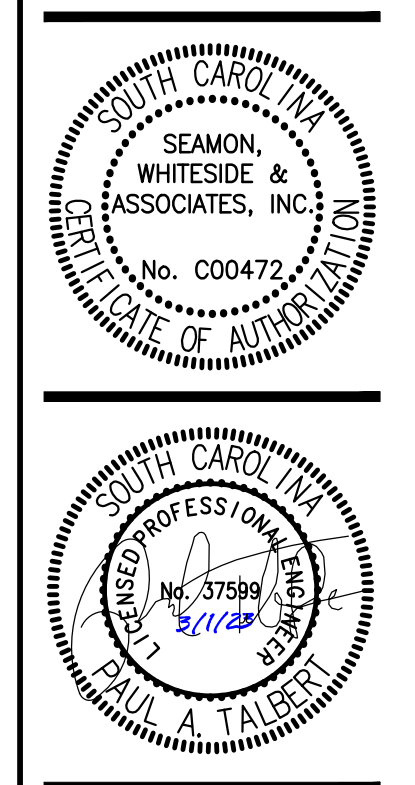


Pole available:

Name	Mounting height	Color
Colonial concrete	12', 17'	Black

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PINESTONE WAREHOUSES
PINESTONE MIXED USE
TRAVELERS REST, SC

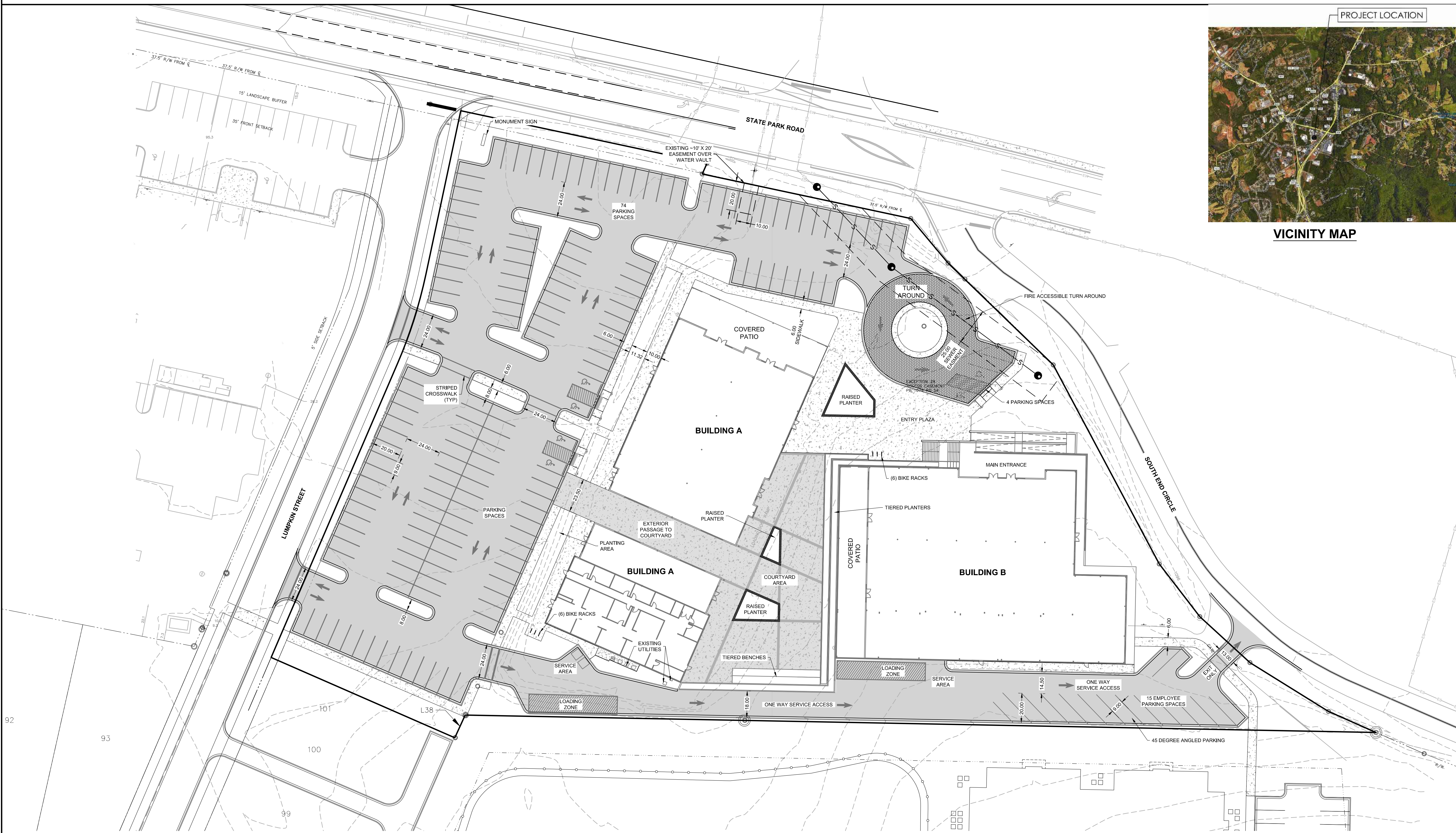
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DATE: 02/28/2023
DRAWN BY: CD/ZB
CHECKED BY: NMP/IT

REVISION HISTORY

NO.	DESCRIPTION

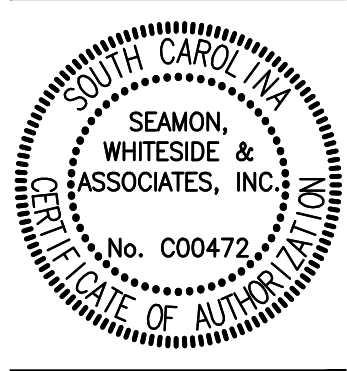
CONCEPTUAL LIGHTING PLAN

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VICINITY MAP

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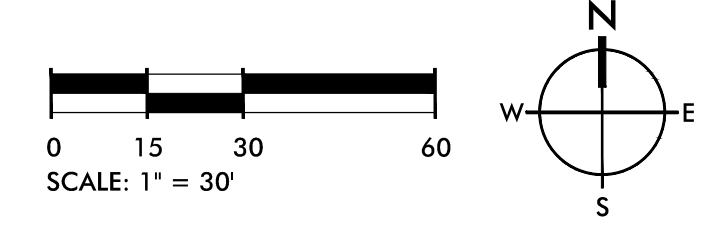
PINESTONE WAREHOUSES
PINESTONE MIXED USE
TRAVELERS REST, SC

SW+ PROJECT: GR3757
DATE: 02/28/2023
DRAWN BY: CD/ZB
CHECKED BY: NM/PT


REVISION HISTORY

NO.	DESCRIPTION

UTILITY EASEMENTS

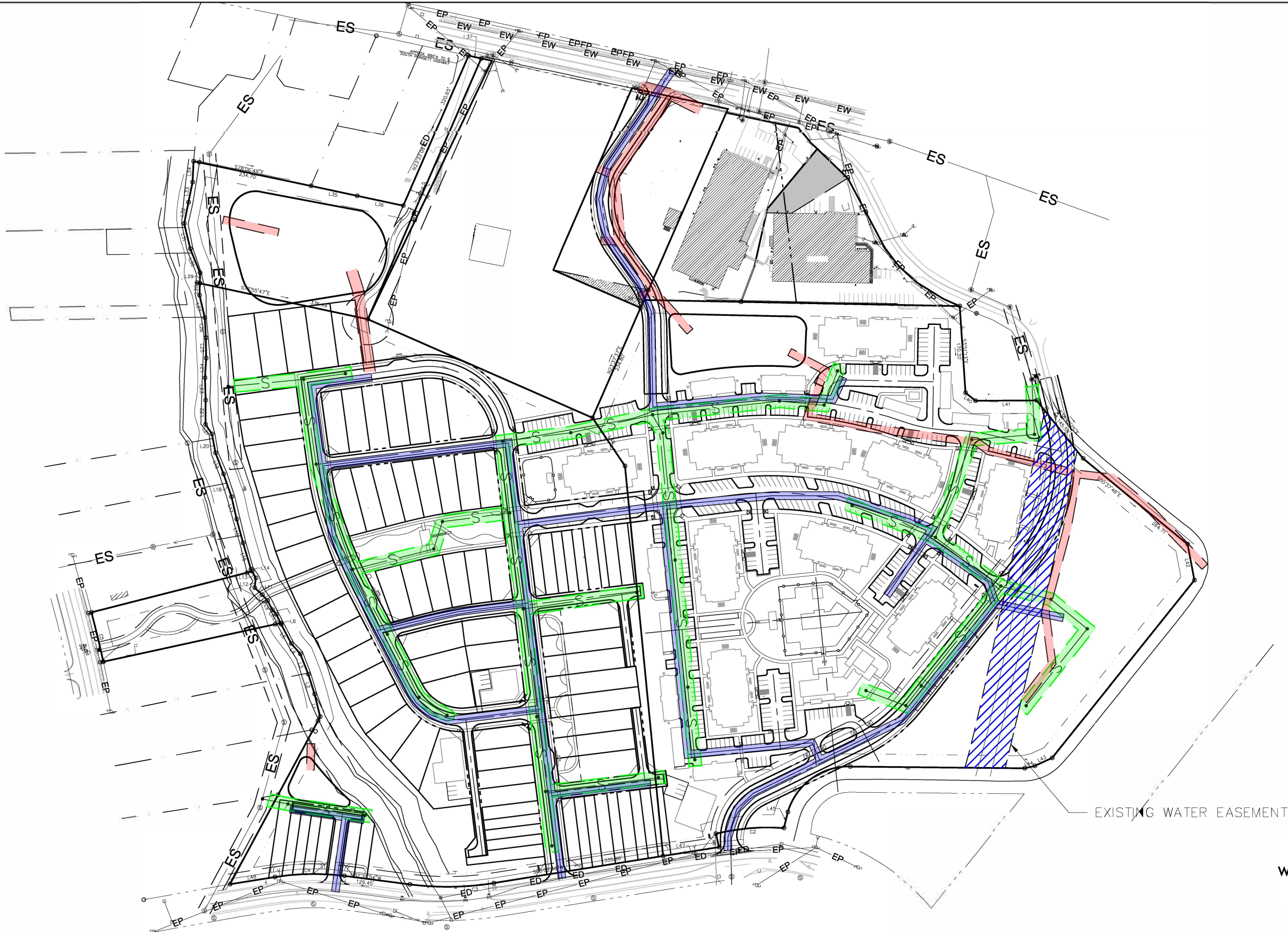


UTILITY EASEMENTS

STORM SEWER EASEMENT (VARIES) 

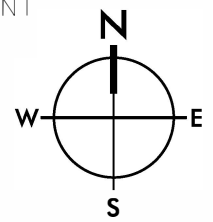
25' SEWER EASEMENT 

15' WATER EASEMENT 



LOCATIONS OF ALL EASEMENTS ARE APPROXIMATE. SEWER AND STORM SEWER EASEMENTS COULD CHANGE DURING DESIGN DEVELOPMENT. WATER ROUTING TO BE DESIGNED BY GREENVILLE WATER.

EXISTING WATER EASEMENT



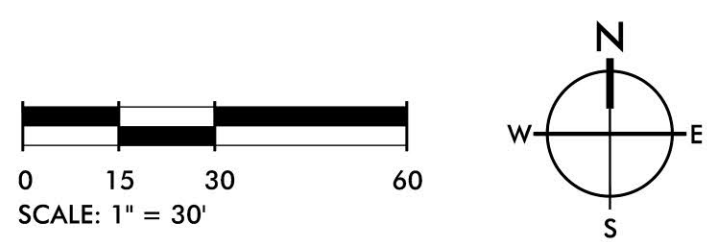
PROJECT NAME PINESTONE DEVELOPMENT
PROJECT # GR3278
DATE: 2019-11-05
SCALE: 1"=100'

UTILITY EASEMENT LOCATIONS
EXHIBIT E

- KEY:**
- 1 BUILDING A
 - 2 DINING PATIO
 - 3 EXISTING OFFICE
 - 4 SHARED COURTYARD
 - 5 BUILDING B
 - 6 ELEVATED MAIN ENTRANCE
 - 7 COVERED OUTDOOR DINING
 - 8 PARKING
 - 9 DROP OFF AREA
 - 10 RAISED PLANTER & SIGNAGE
 - 11 SERVICE AREA & EMPLOYEE PARKING



NOTE: THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.



PINESTONE CAPITAL, LLC
PINESTONE WAREHOUSE
 TRAVELERS REST, SC

SHEET ISSUE:			
NO.	DATE	DESCRIPTION	BY
A	03/01/23	FDP SUBMITTAL	MPS

PRINCIPAL IN CHARGE: AT
 PROJECT ARCHITECT: RC
 DRAWN BY: RO

SHEET TITLE:
**BUILDING A
 DEMOLITION FLOOR
 PLAN**




SHEET NO. PROJ. NO.
 AD101 019494.01

AD101

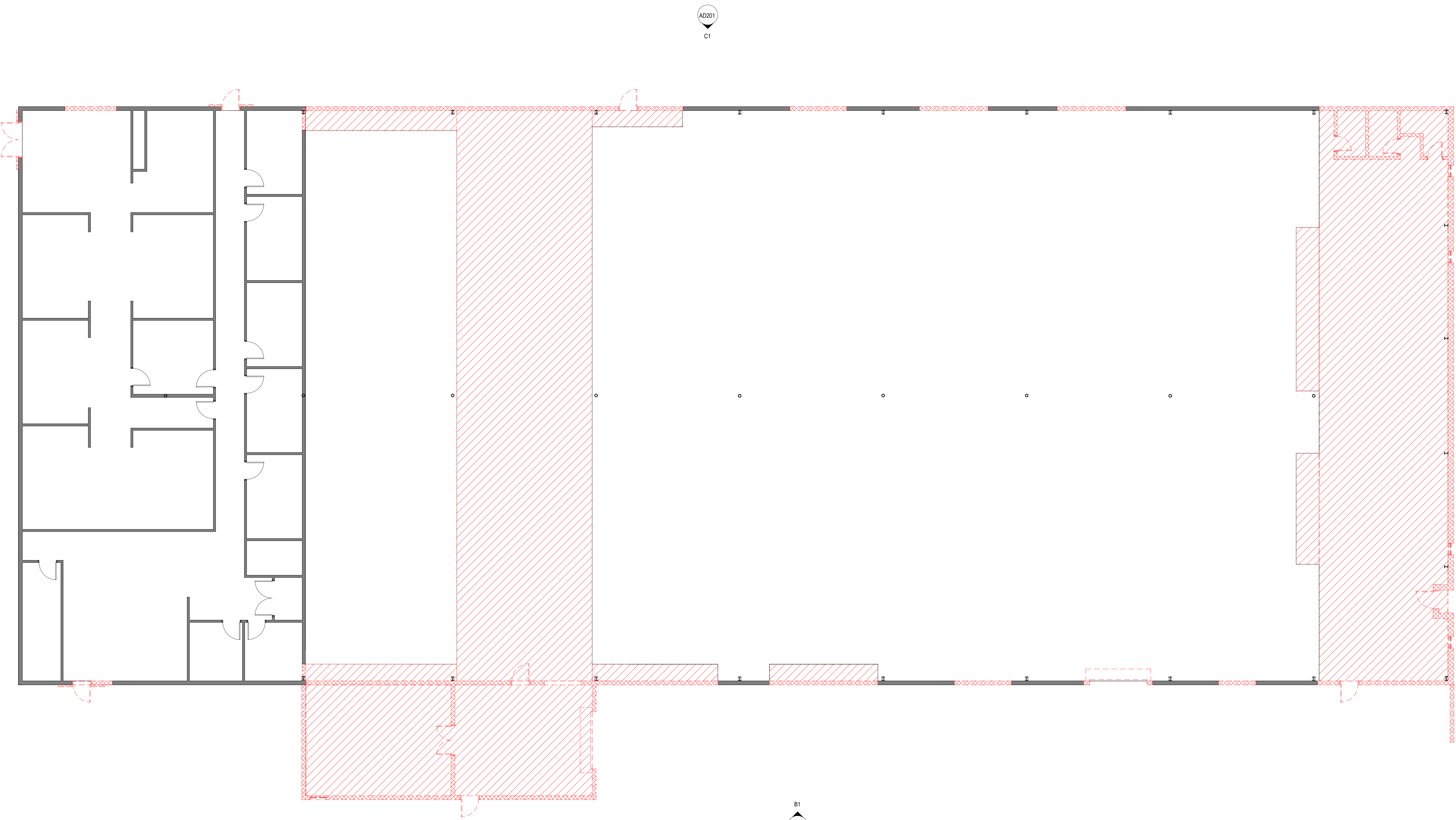
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A1 BUILDING A DEMOLITION FLOOR PLAN
 AD101 1/8" = 1'-0"

DEMOLITION LEGEND

-  EXISTING CONSTRUCTION
-  EXISTING CONSTRUCTION TO BE REMOVED
-  EXISTING FLOOR ASSEMBLY TO BE REMOVED

DEMOLITION PLAN KEYNOTES



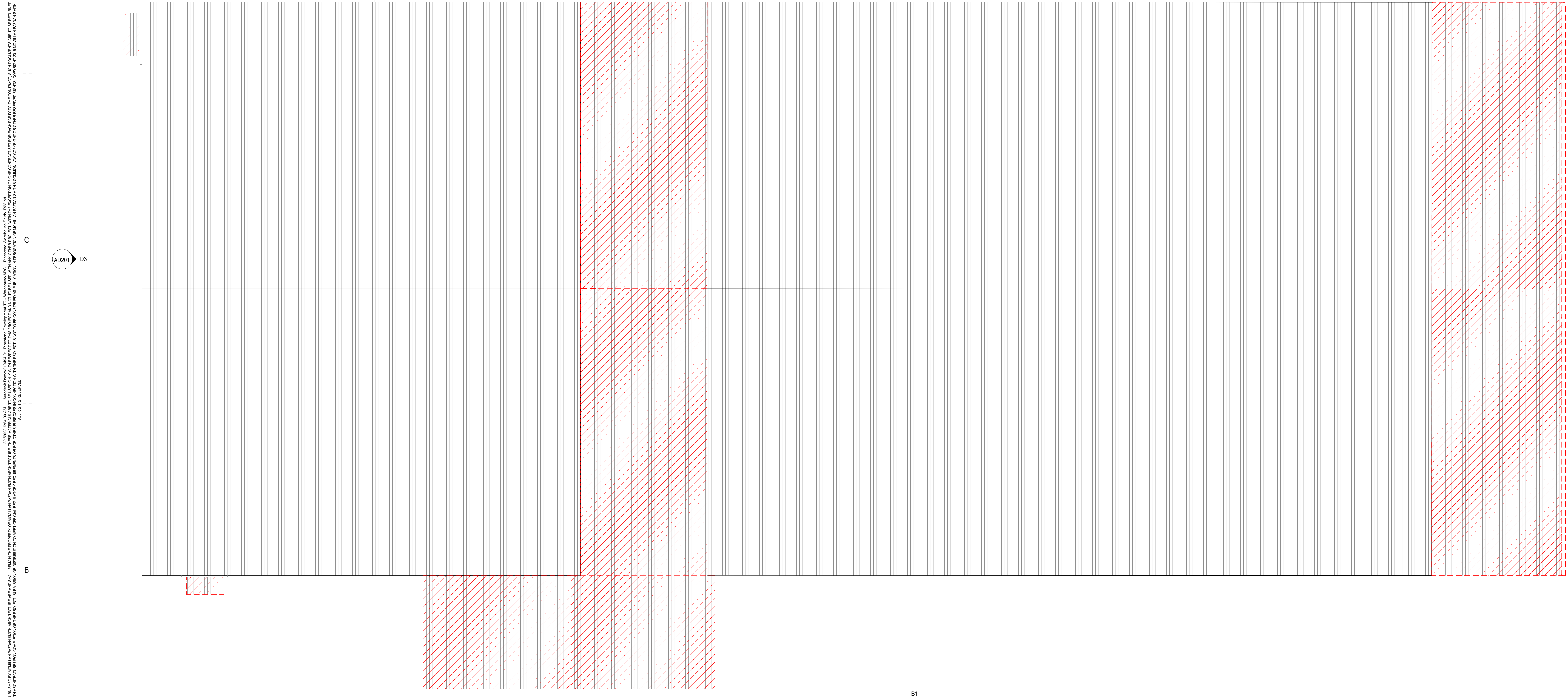
PINESTONE CAPITAL, LLC
PINESTONE WAREHOUSE
 TRAVELERS REST, SC

SHEET ISSUE:			
NO.	DATE	DESCRIPTION	BY
A	03/01/23	FDP SUBMITTAL	MPS

PRINCIPAL IN CHARGE: AT
 PROJECT ARCHITECT: RC
 DRAWN BY: RO

SHEET TITLE:
**BUILDING A
 DEMOLITION ROOF
 PLAN**




SHEET NO. PROJ. NO.
 AD102 019494.01



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A1 BUILDING A DEMOLITION ROOF PLAN
 AD102 / 1/8" = 1'-0"

DEMOLITION LEGEND

-  EXISTING CONSTRUCTION
-  EXISTING CONSTRUCTION TO BE REMOVED
-  EXISTING FLOOR ASSEMBLY TO BE REMOVED

DEMOLITION PLAN KEYNOTES

PINESTONE CAPITAL, LLC
PINESTONE WAREHOUSE
 TRAVELERS REST, SC

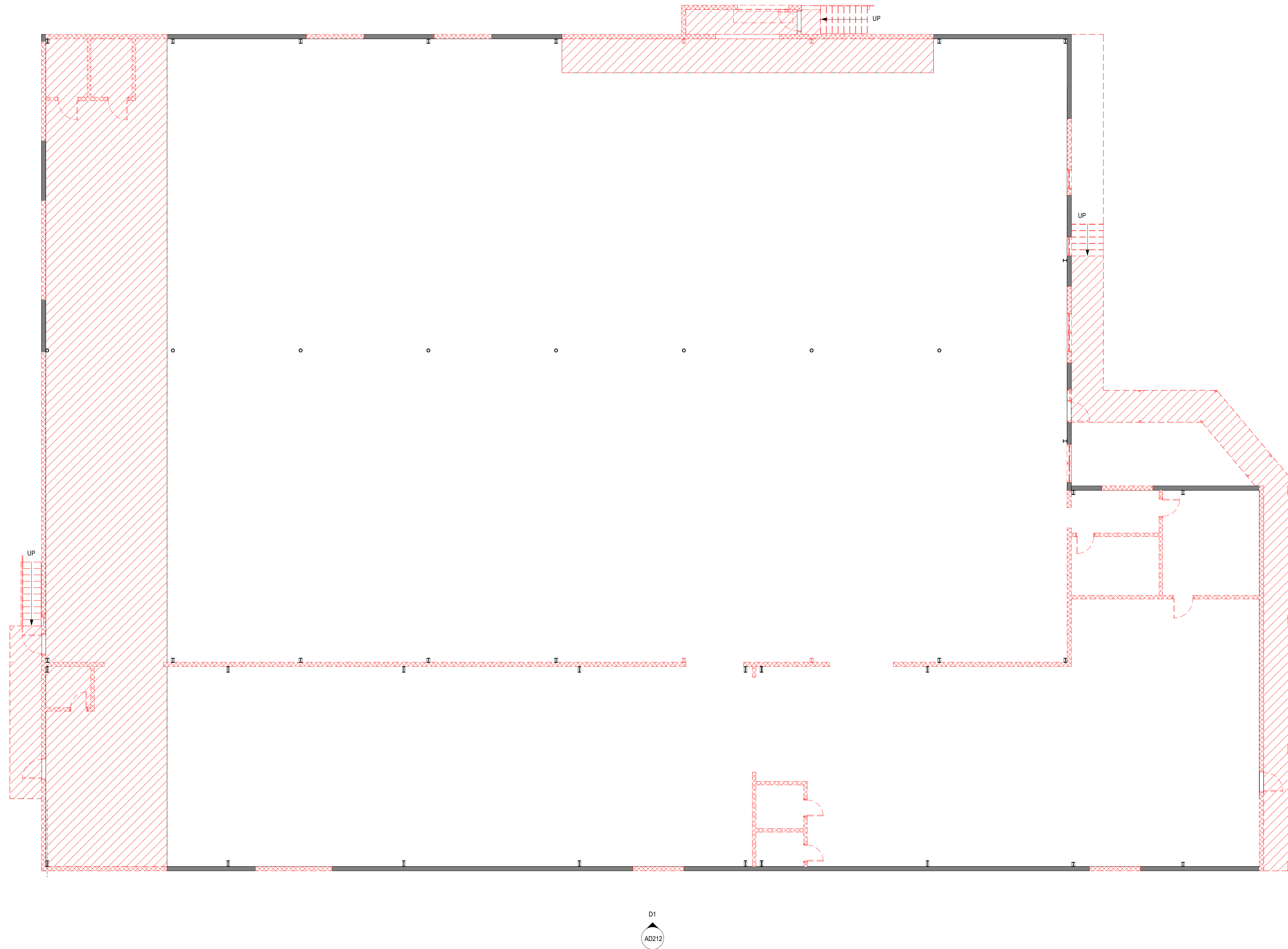
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NO.	DATE	DESCRIPTION	BY
A	03/01/23	FDP SUBMITTAL	MPS

PRINCIPAL IN CHARGE: AT
 PROJECT ARCHITECT: RC
 DRAWN BY: RO

SHEET TITLE:
**BUILDING B
 DEMOLITION FLOOR PLAN**

SHEET NO. PROJ. NO.
 AD111 019494.01

AD111



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A1 BUILDING B DEMOLITION FLOOR PLAN
 AD111 1/8" = 1'-0"

DEMOLITION LEGEND

- EXISTING CONSTRUCTION
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING FLOOR ASSEMBLY TO BE REMOVED

DEMOLITION PLAN KEYNOTES

PINESTONE CAPITAL, LLC
PINESTONE WAREHOUSE
 TRAVELERS REST, SC

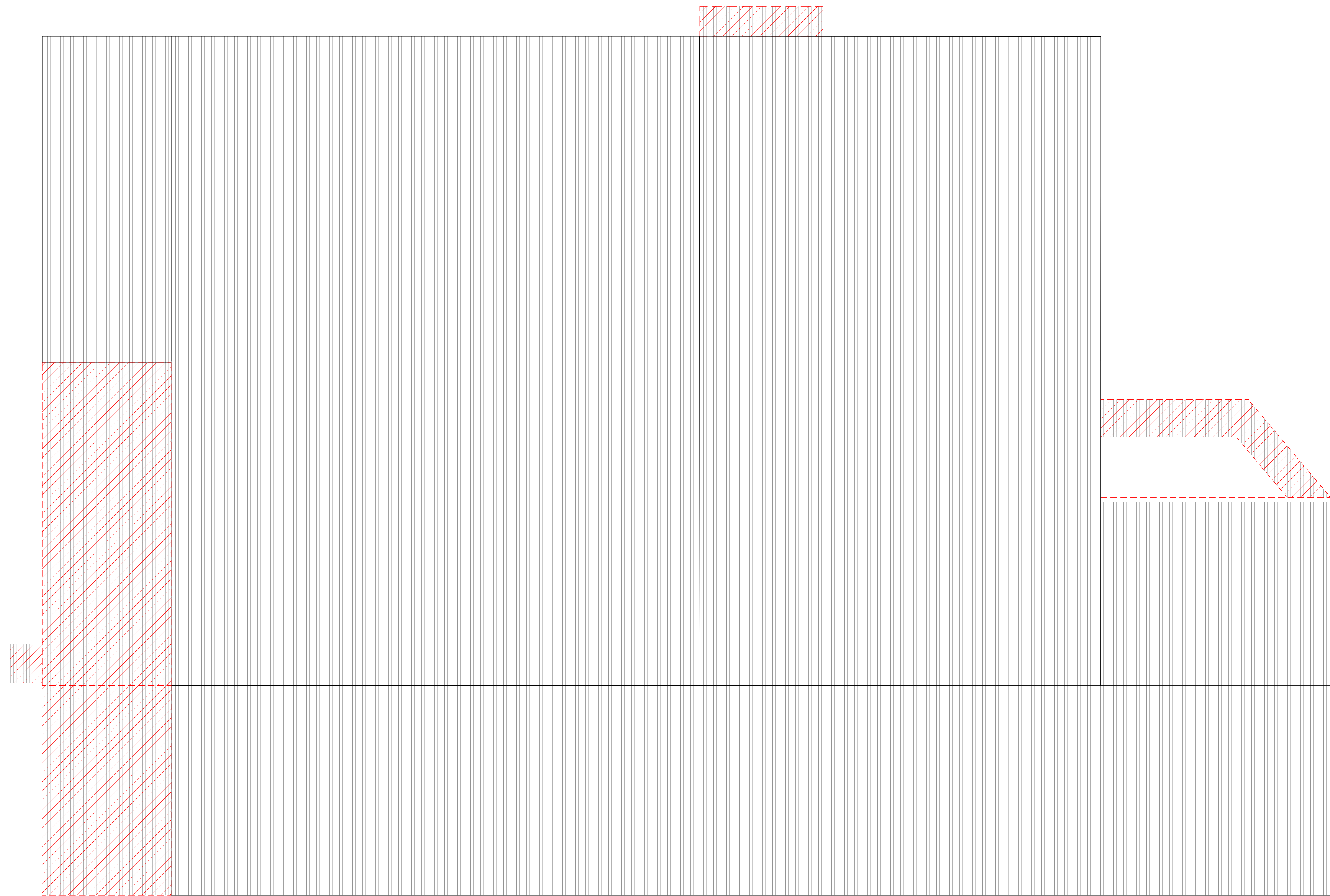
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NO.	DATE	DESCRIPTION	BY
A	03/01/23	FDP SUBMITTAL	MPS

PRINCIPAL IN CHARGE: AT
 PROJECT ARCHITECT: RC
 DRAWN BY: RO

SHEET TITLE:
**BUILDING B
 DEMOLITION ROOF
 PLAN**

SHEET NO. PROJ. NO.
 019494.01

AD112



A1 BUILDING B DEMOLITION ROOF PLAN
 AD112 1/8" = 1'-0"

DEMOLITION LEGEND

- A EXISTING CONSTRUCTION
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING FLOOR ASSEMBLY TO BE REMOVED

DEMOLITION PLAN KEYNOTES

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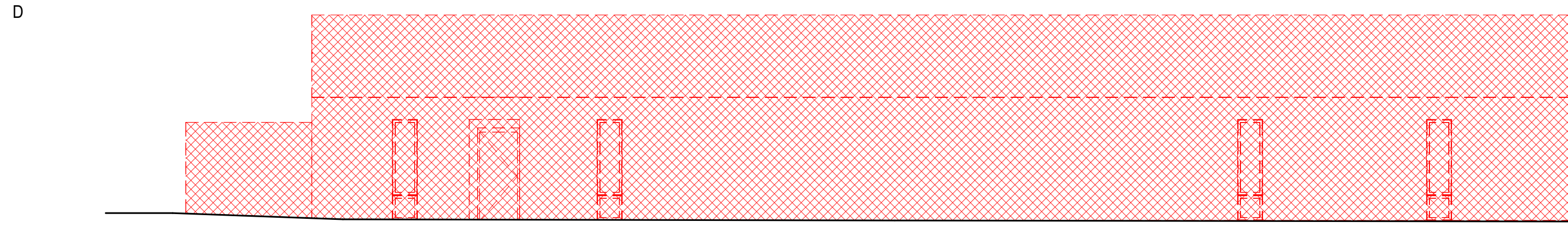
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NO.	DATE	DESCRIPTION	BY
A	03/01/23	FDP SUBMITTAL	MPS

PRINCIPAL IN CHARGE: AT
PROJECT ARCHITECT: RC
DRAWN BY: RO

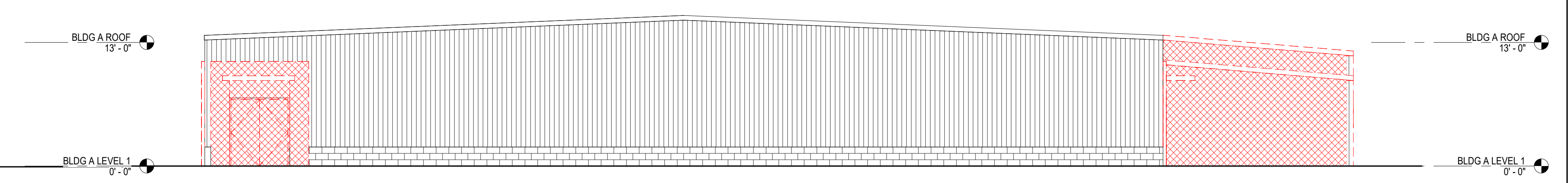
SHEET TITLE:
**BUILDING A
DEMOLITION
ELEVATIONS**

SHEET NO. PROJ. NO.
AD201 019494.01

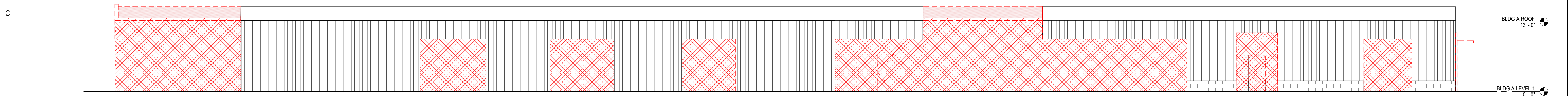
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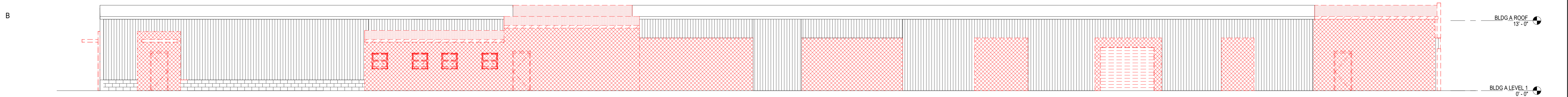
D1 BUILDING A DEMOLITION NORTH ELEVATION
1/8" = 1'-0"



D3 BUILDING A DEMOLITION SOUTH ELEVATION
1/8" = 1'-0"



C1 BUILDING A DEMOLITION WEST ELEVATION
1/8" = 1'-0"



B1 BUILDING A DEMOLITION EAST ELEVATION
1/8" = 1'-0"

DEMOLITION LEGEND

- A EXISTING CONSTRUCTION
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING FLOOR ASSEMBLY TO BE REMOVED

DEMOLITION PLAN KEYNOTES

PINESTONE CAPITAL, LLC

PINESTONE WAREHOUSE

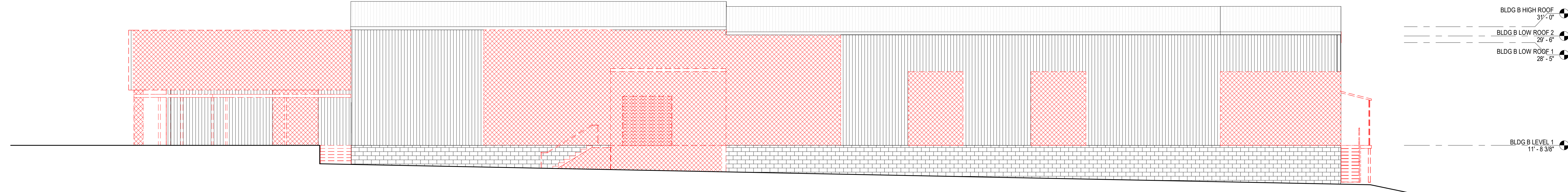
TRAVELERS REST, SC

SHEET ISSUE:			
NO.	DATE	DESCRIPTION	BY
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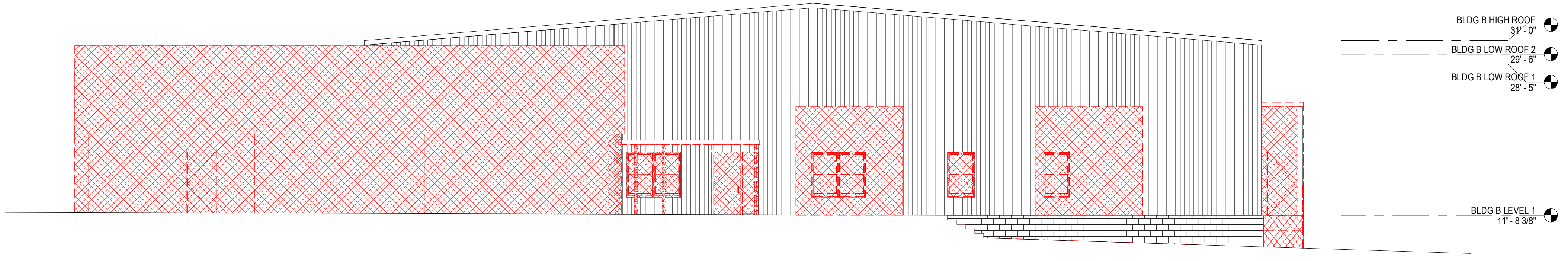
PRINCIPAL IN CHARGE: AT
PROJECT ARCHITECT: RC
DRAWN BY: RO

SHEET TITLE:
**BUILDING B
DEMOLITION
ELEVATIONS**

SHEET NO. PROJ. NO.
AD211 019494.01



D1 BUILDING B DEMOLITION NORTH ELEVATION
1/8" = 1'-0"



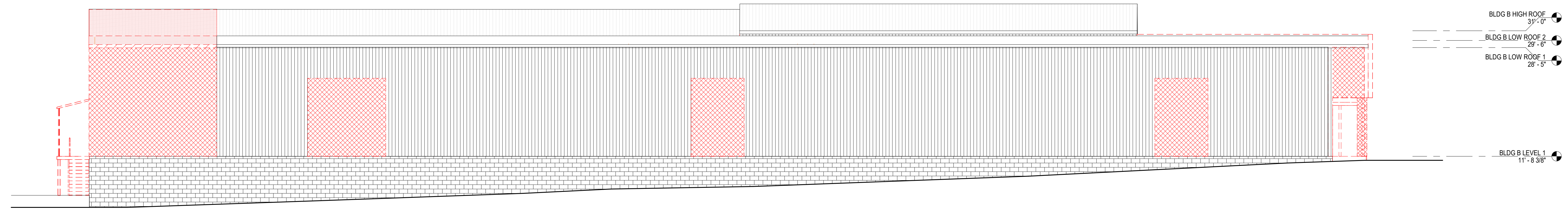
C1 BUILDING B DEMOLITION EAST ELEVATION
1/8" = 1'-0"

DEMOLITION LEGEND

- A EXISTING CONSTRUCTION
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING FLOOR ASSEMBLY TO BE REMOVED

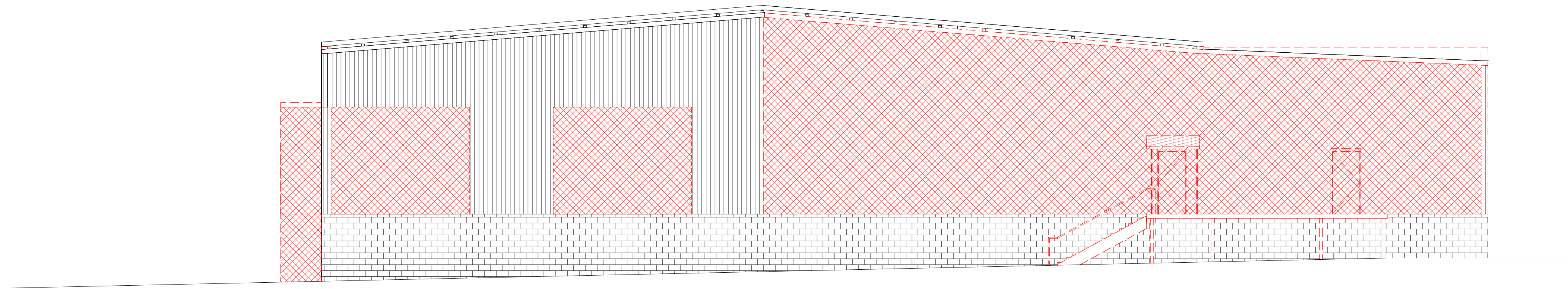
DEMOLITION PLAN KEYNOTES

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D1 BUILDING B DEMOLITION SOUTH ELEVATION

AD212 / 1/8" = 1'-0"



C1 BUILDING B DEMOLITION WEST ELEVATION

AD212 / 1/8" = 1'-0"

DEMOLITION LEGEND

- A EXISTING CONSTRUCTION
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING FLOOR ASSEMBLY TO BE REMOVED

DEMOLITION PLAN KEYNOTES

PINESTONE CAPITAL, LLC

PINESTONE WAREHOUSE

TRAVELERS REST, SC

SHEET ISSUE:			
NO.	DATE	DESCRIPTION	BY
A	03/01/23	FDP SUBMITTAL	MPS

PRINCIPAL IN CHARGE: AT
PROJECT ARCHITECT: RC
DRAWN BY: RO

SHEET TITLE:
**BUILDING B
DEMOLITION
ELEVATIONS**

SHEET NO. PROJ. NO.
019494.01

AD212

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PINESTONE WAREHOUSE
 TRAVELERS REST, SC

SHEET ISSUE:				
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A	03/01/23	FDP SUBMITTAL	MPS	

PRINCIPAL IN CHARGE: AT
 PROJECT ARCHITECT: RC
 DRAWN BY: RO

SHEET TITLE:
BUILDING A FLOOR PLAN

SHEET NO. PROJ. NO.
 019494.01

A101

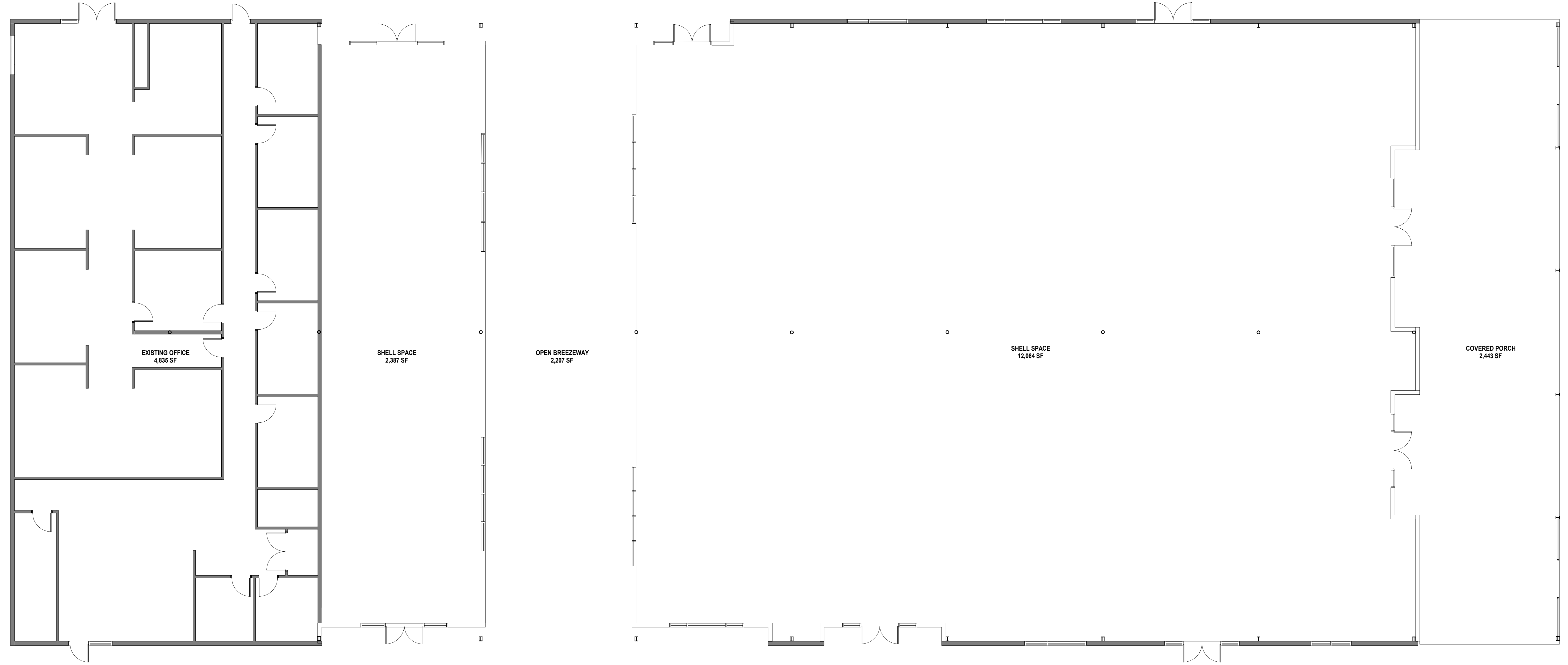
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BUILDING A FLOOR PLAN
 1/8" = 1'-0"

FLOOR PLAN LEGEND

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION

FLOOR PLAN KEYNOTES



PINESTONE CAPITAL, LLC
PINESTONE WAREHOUSE
 TRAVELERS REST, SC

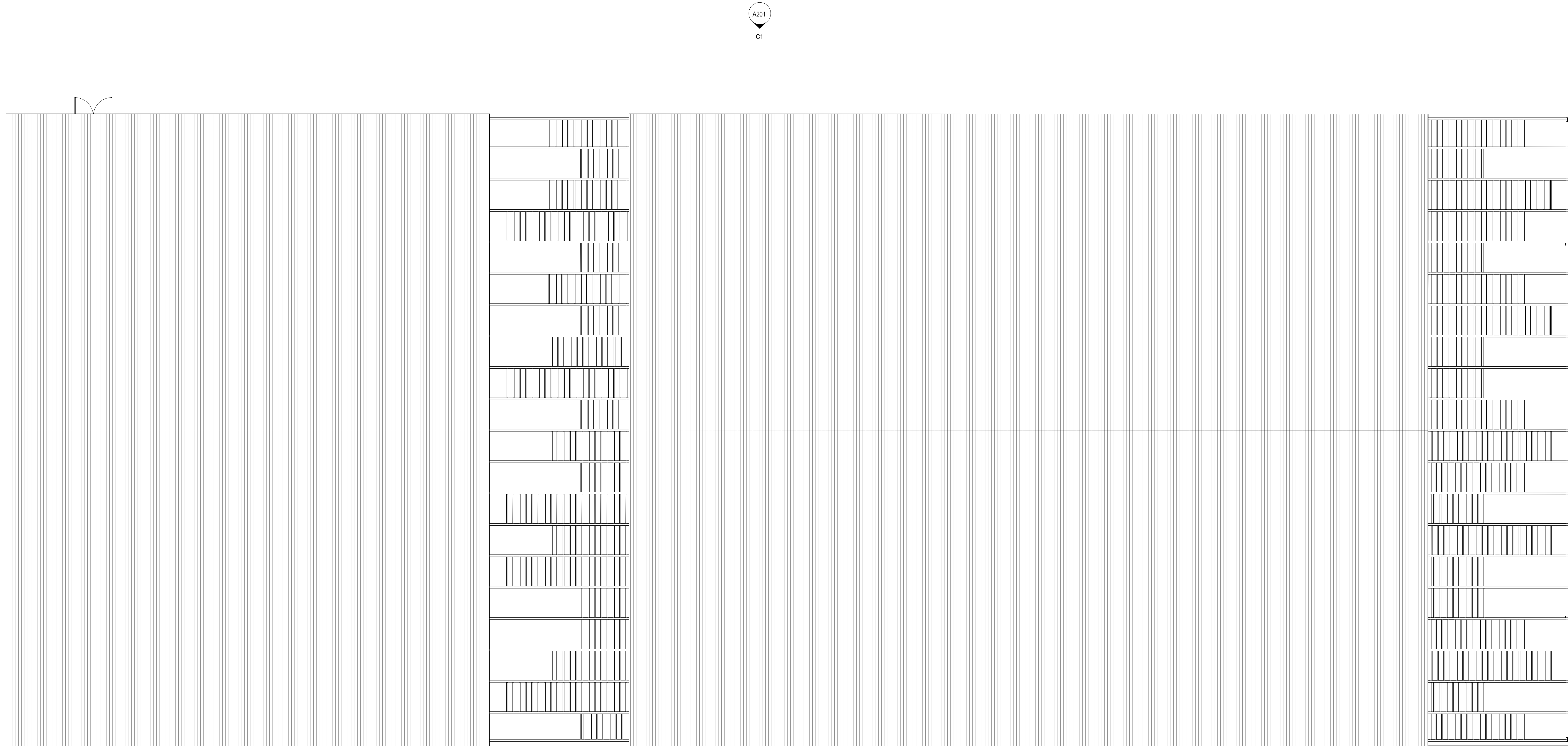
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NO.	DATE	DESCRIPTION	BY	
A	03/01/23	FDP SUBMITTAL	MPS	

PRINCIPAL IN CHARGE: AT
 PROJECT ARCHITECT: RC
 DRAWN BY: RO

SHEET TITLE:
**BUILDING A ROOF
 PLAN**

SHEET NO. PROJ. NO.
 019494.01

A102



A1 BUILDING A ROOF PLAN
 A102 1/8" = 1'-0"

ROOF PLAN LEGEND

- A EXISTING METAL ROOF
- WOOD SLAT SCREEN

ROOF PLAN KEYNOTES

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PINESTONE CAPITAL, LLC
PINESTONE WAREHOUSE
 TRAVELERS REST, SC

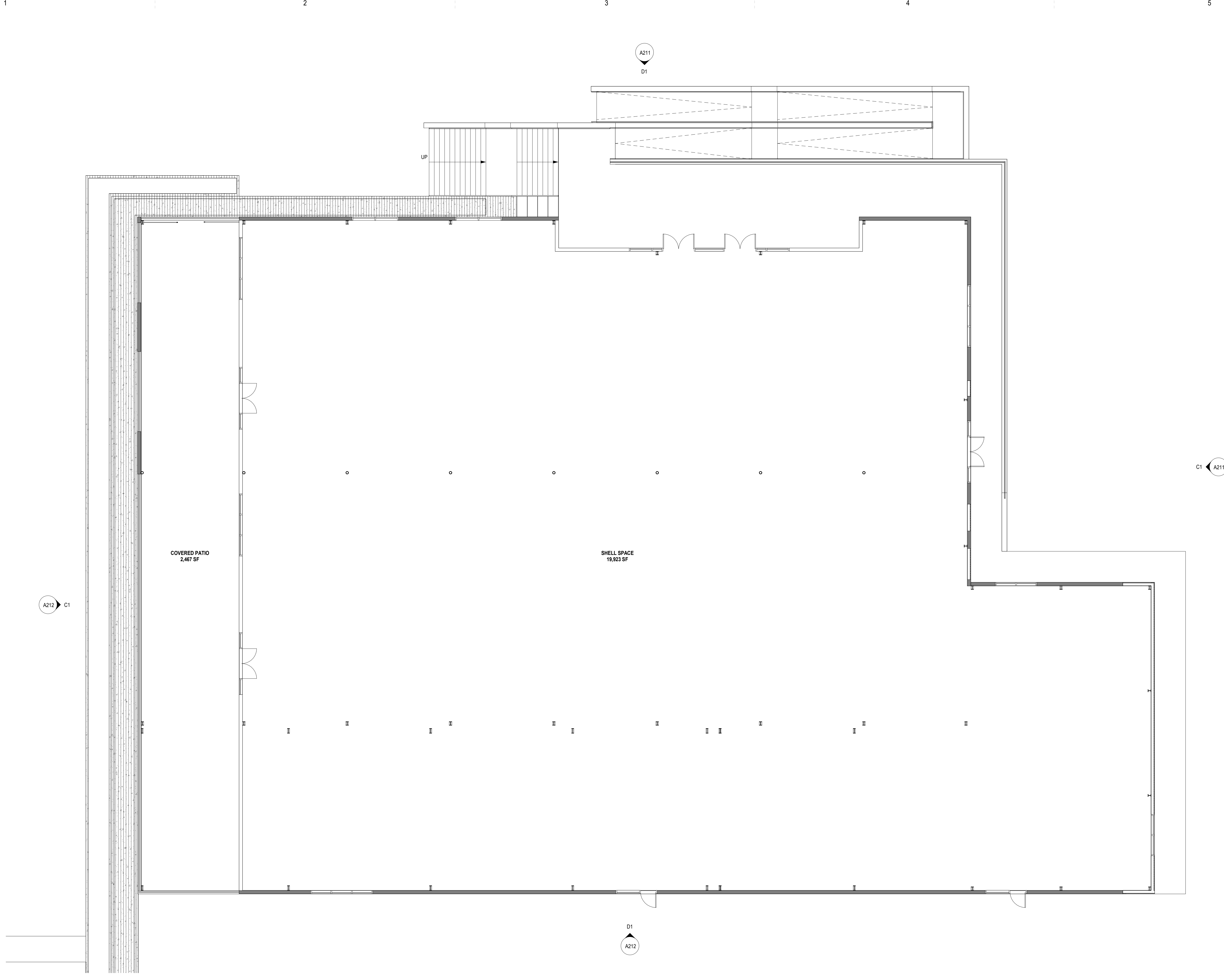
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A	03/01/23	FDP SUBMITTAL	MPS

PRINCIPAL IN CHARGE: AT
 PROJECT ARCHITECT: RC
 DRAWN BY: RO

SHEET TITLE:
**BUILDING B FLOOR
 PLAN**

SHEET NO. PROJ. NO.
 019494.01

A111



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A1
BUILDING B FLOOR PLAN
 1/8" = 1'-0"

FLOOR PLAN LEGEND

- A ——— EXISTING CONSTRUCTION
- A - - - - NEW CONSTRUCTION

FLOOR PLAN KEYNOTES

PINESTONE CAPITAL, LLC
PINESTONE WAREHOUSE
TRAVELERS REST, SC

SHEET ISSUE:			
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A	03/01/23	FDP SUBMITTAL	MPS

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PROJECT ARCHITECT: RC
DRAWN BY: RO

SHEET TITLE:
**BUILDING B ROOF
PLAN**

SHEET NO. PROJ. NO.
019494.01

A112



A211
D1


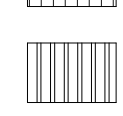
C1 A211

A212 C1

D1
A212

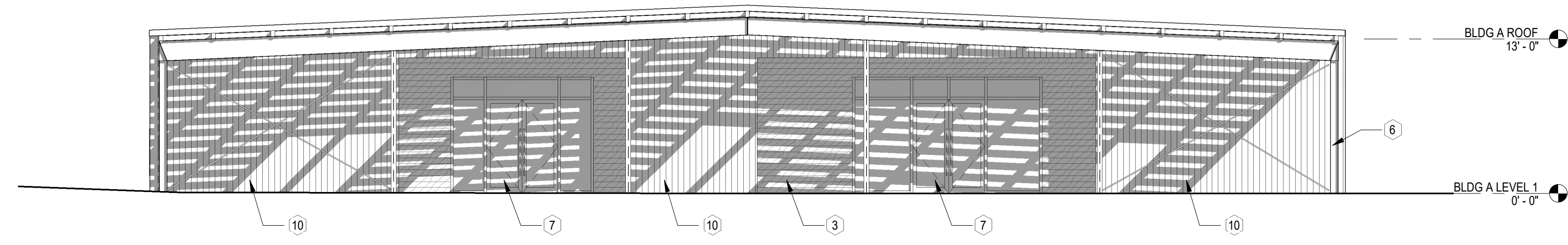
A1 BUILDING B ROOF PLAN
A112 1/8" = 1'-0"

ROOF PLAN LEGEND

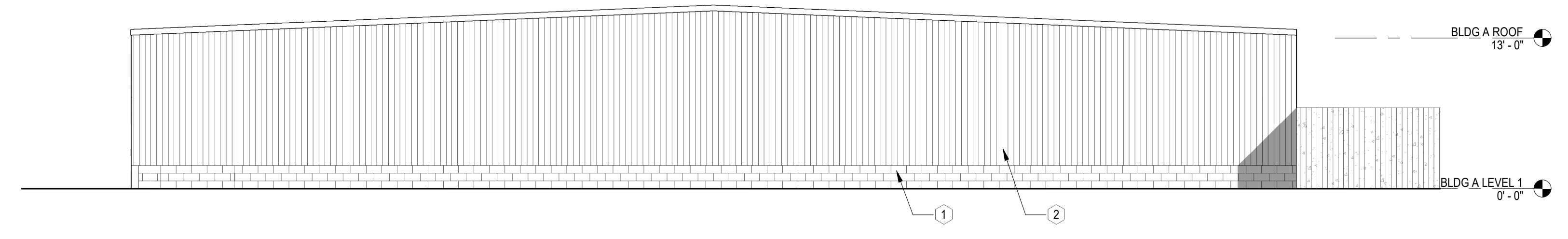
- A  EXISTING METAL ROOF
-  WOOD SLAT SCREEN

ROOF PLAN KEYNOTES

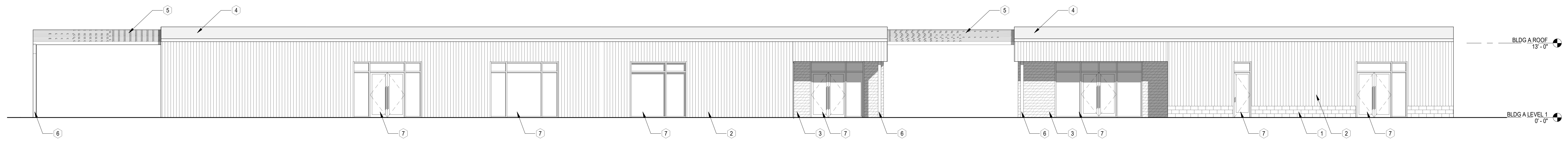
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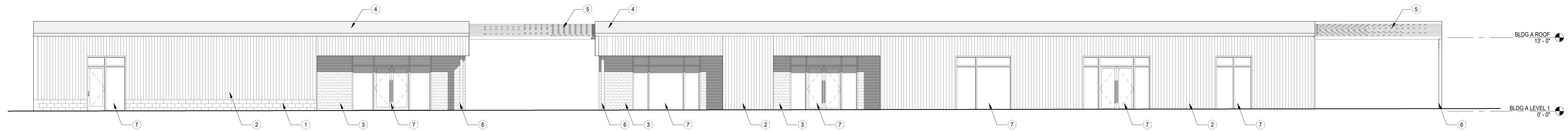
D1
A201
BUILDING A NORTH ELEVATION
1/8" = 1'-0"



D3
A201
BUILDING A SOUTH ELEVATION
1/8" = 1'-0"



C1
A201
BUILDING A WEST ELEVATION
1/8" = 1'-0"



B1
A201
BUILDING A EAST ELEVATION
1/8" = 1'-0"

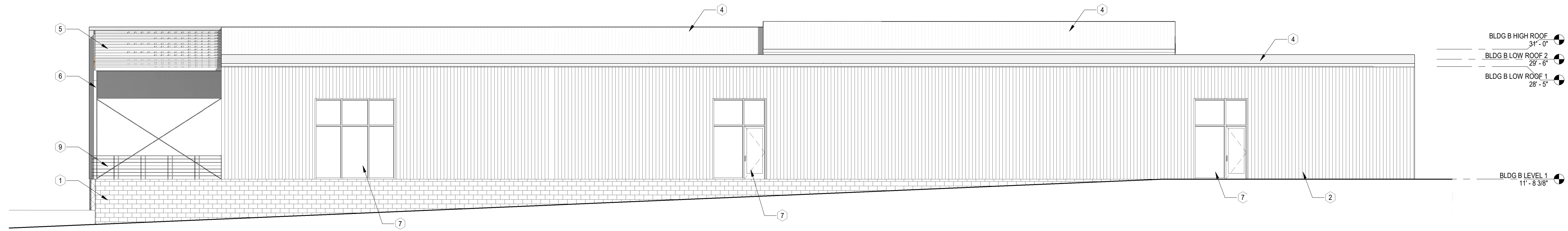
ELEVATION MATERIAL LEGEND

- EXISTING METAL PANEL, PAINTED
- WOOD SIDING, STAINED
- EXISTING CMU, PAINTED
- FORMLINER CONCRETE

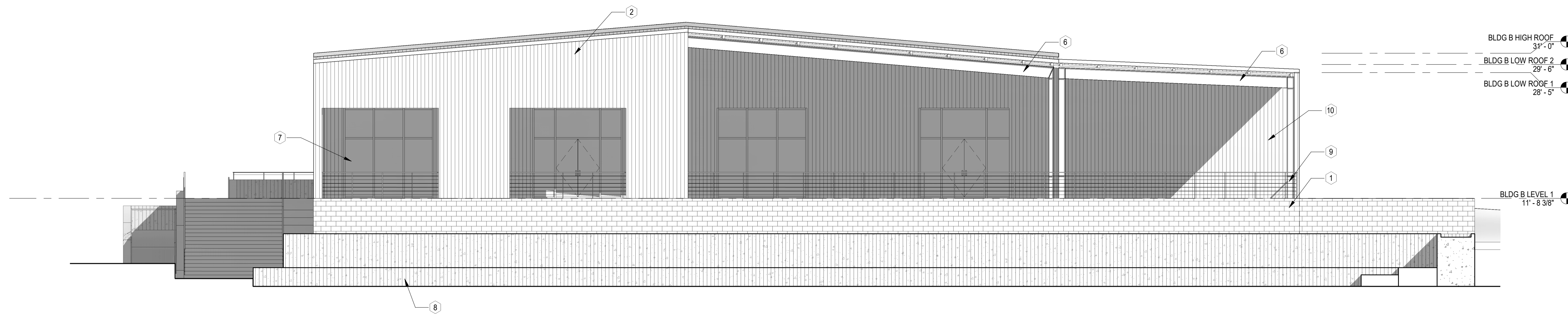
ELEVATION KEYNOTES

1. EXISTING CMU, PAINTED.
2. EXISTING METAL SIDING, PAINTED.
REPLACE WITH MATCH MATERIAL AS REQUIRED.
3. NEW WOOD SIDING, STAINED.
4. EXISTING METAL PANEL ROOF, PAINTED.
5. NEW STAINED WOOD SCREEN ON EXISTING PEMB FRAME AND PURLINS.
6. EXISTING PEMB FRAME, PAINTED.
7. NEW ALUMINUM STOREFRONT.
8. NEW FORMLINER CONCRETE.
9. PAINTED STEEL RAILING.
10. NEW METAL SIDING TO MATCH EXISTING, PAINTED.

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

D1 BUILDING B SOUTH ELEVATION
A212 1/8" = 1'-0"



C1 BUILDING B WEST ELEVATION
A212 1/8" = 1'-0"

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ELEVATION MATERIAL LEGEND

- A  EXISTING METAL PANEL, PAINTED
-  WOOD SIDING, STAINED
-  EXISTING CMU, PAINTED
-  FORMLINER CONCRETE

ELEVATION KEYNOTES

1. EXISTING CMU, PAINTED.
2. EXISTING METAL SIDING, PAINTED.
3. REPLACE WITH MATCH MATERIAL AS REQUIRED.
4. NEW WOOD SIDING, STAINED.
5. EXISTING METAL PANEL ROOF, PAINTED.
6. NEW STAINED WOOD SCREEN ON EXISTING PEMB FRAME AND PURLINS.
7. EXISTING PEMB FRAME, PAINTED.
8. NEW ALUMINUM STOREFRONT.
9. NEW FORMLINER CONCRETE.
10. PAINTED STEEL RAILING.
11. NEW METAL SIDING TO MATCH EXISTING, PAINTED.

PINESTONE CAPITAL, LLC
PINESTONE WAREHOUSE
 TRAVELERS REST, SC

SHEET ISSUE:				
NO.	DATE	DESCRIPTION	BY	
A	03/01/23	FDP SUBMITTAL	MPS	

PRINCIPAL IN CHARGE: AT
 PROJECT ARCHITECT: RC
 DRAWN BY: RO
 SHEET TITLE:
**ELEVATIONS
BUILDING B**

SHEET NO. PROJ. NO.
 019494.01

A212



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ISSUE DATE:

11.05.2019

DRAWN BY: **bmk**

REVISION:

0 -

CLIENT: **Longbrush Partners**

PROJECT:

Travelers Rest

JOB #:

45156

ACCOUNT REP:

FHE

REF: -

DESCRIPTION:

Main ID

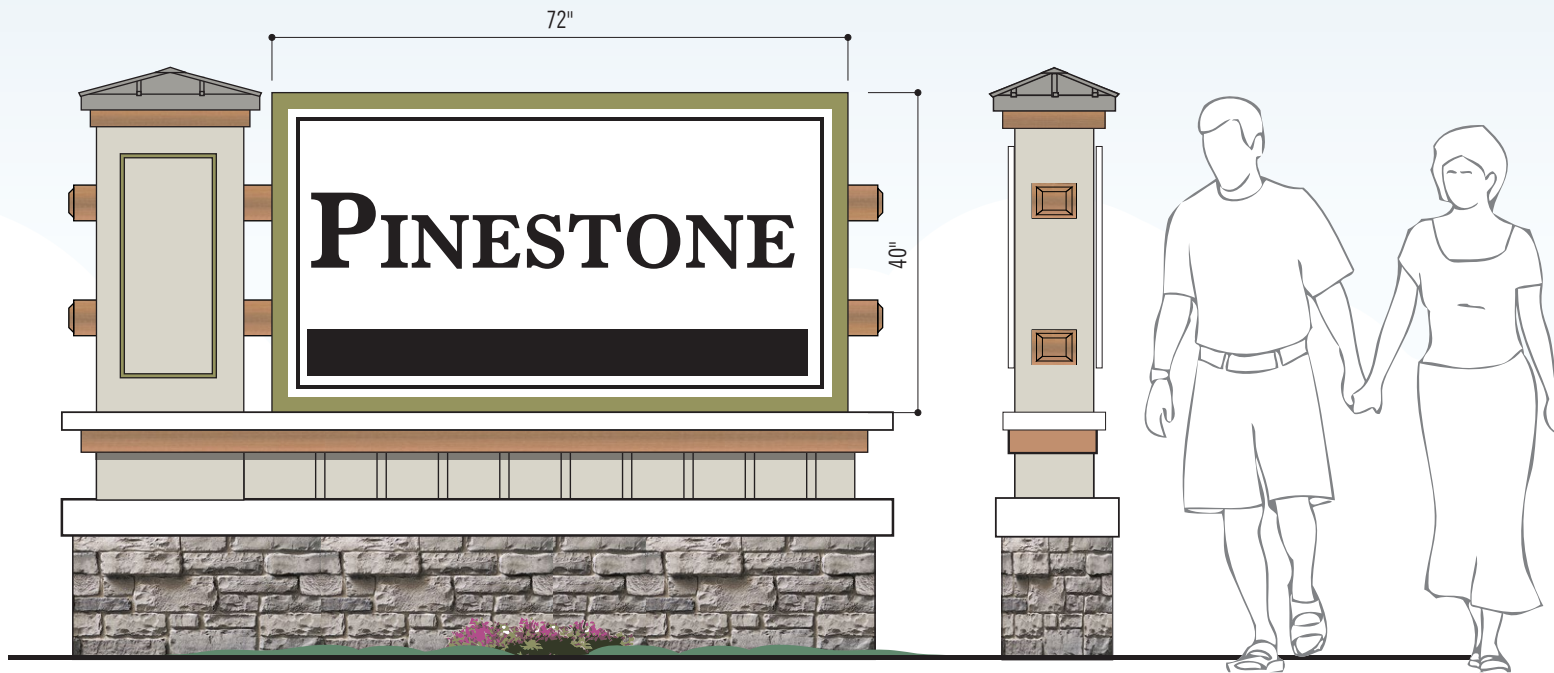
ITEM #:

01

QUANTITY:

1 - DF

CS DI SO SI CP SD



A **OPTION 1**
1/2" = 1'-0"



Location Rendering



SouthWood
Image, Identity and Signage Specialists

PO Box 38900 • Charlotte, NC 28278
P: 704.588.5000 • F: 704.588.5017
www.southwoodcorp.com

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ISSUE DATE:

11.05.2019

DRAWN BY: **bmk**

REVISION:

0

CLIENT: **Longbrush Partners**

PROJECT:

Travelers Rest

JOB #:

45156

ACCOUNT REP:

FHE

REF: -

DESCRIPTION:

Main ID

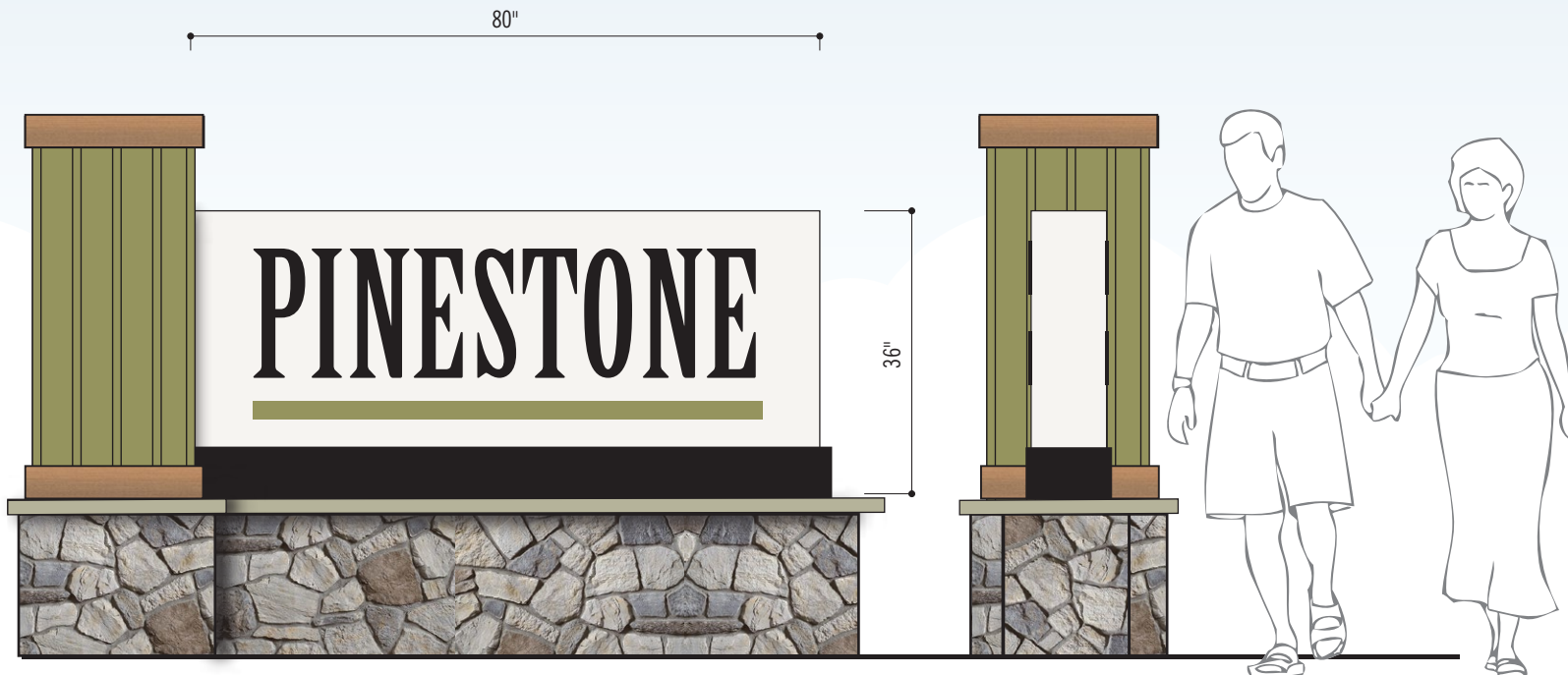
ITEM #:

QUANTITY:

1 - DF

CS DI SO SI CP SD

2.0



A **OPTION 2**
1/2" = 1'-0"





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ISSUE DATE:

11.05.2019

DRAWN BY: **bmk**

REVISION:

0

CLIENT: **Longbrush Partners**

PROJECT:

Travelers Rest

JOB #:

45156

ACCOUNT REP:

FHE

REF: -

DESCRIPTION:

Main ID

ITEM #:

01

QUANTITY:

1 - dF

CS DI SO SI CP SD

3.0



A **OPTION 3**
1/2" = 1'-0"



Location Rendering



AN AMENDMENT TO THE FINAL DEVELOPMENT PLAN
FOR

**WAREHOUSE DISTRICT COMMERCIAL
PINESTONE
TRAVELERS REST, SOUTH CAROLINA**

Date
March 1, 2023

APPLICANT:

PineStone Capital, LLC
Pinestone Opportunity Fund, LLC
Pinestone South End Circle, LLC
1491 E. Poinsett Street
Greer, South Carolina 29651

DEVELOPMENT SERVICES BY:

The Randolph Group
TRG Communities
607 Pendleton Street, Suite 200
Greenville, South Carolina 29601

ENGINEERING AND LANDPLANNING SERVICES BY:

Seamon Whiteside
Judson Mills Building 6000
701 Easley Bridge Road
Greenville, South Carolina 29611
864.298.0534

ARCHITECTURAL SERVICES BY:

McMillan Pazdan Smith
400 Augusta Street, Suite 200
Greenville, S.C. 29601

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- B. Preliminary Development Plan (PDP)**
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- H. Private/Public Road Delineation**
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- K. Brand Identity Manual**
- L. Drainage: Master Drainage Plan and Letter of Approval.**

Original January 12, 2020

Amended March 1, 2023

**FINAL DEVELOPMENT PLAN – WAREHOUSE DISTRICT COMMERCIAL
PINESTONE TRAVELERS REST, SOUTH CAROLINA**

DEVELOPMENT SUMMARY

Pinestone is a planned mixed-use development in Travelers Rest, South Carolina offering multiple housing products based on compatible concepts and styles supplemented with complimentary commercial uses. Pinestone is a 44.74 - acre site east of Main Street Travelers Rest, bordered by U.S. Highway 25, Roe Road, and State Park Road. Pinestone is comprised of several properties compiled under different but related ownership entities.

The Travelers Rest City Council in July 2019 and amended in July 2022 based on the positive recommendation of the Planning Commission approved the rezoning of the above parcels to PD-R Planned Development Residential. A portion of the above parcels have, after receipt of rezoning, been subdivided with the approval of the City of Travelers Rest according to certain subdivision regulations.

The PD-R district is intended to accommodate primarily residential uses, with nonresidential uses integrated into the design of such districts as secondary uses. The Statement of Intent and Preliminary Development Plan for Pinestone stated the community would be developed with five (5) definable design themes:

1. Diversity of Housing Products;
2. Connectivity by Car, Bike and Feet;
3. Creative Gathering Spaces;
4. Residents of all ages: "8 to 80" Philosophy; and
5. Complimentary Commercial Uses.

Allowable land uses at Pinestone will include the following:

1. Rental apartments with associated amenities and leasing center, including accessory buildings such as enclosed garages, carriage houses, live/work units, cabana, fire pit and barbeque structure, bike storage and a shared dog park. The rental apartments are under construction as of the date of this FDP Amendment with occupancy of those units occurring as well.
2. For Sale Residential units including attached townhomes, multi-plex units (tri-plex and four-plex units), live-work units, and single family detached homes with rear or front-loaded garages. The construction of this residential product has begun with initial occupancy expected by late spring 2023.
3. A commercial component to include community retail, office, and medical uses. The commercial component of Pinestone includes two distinct districts: the Highway 25 Commercial District and the Warehouse District.

The Preliminary Plan and associated Statement of Intent for Pinestone as amended indicates a maximum of 370 residential units and 118,100 square feet of commercial use.

USE	# OF UNITS/SF
Rental Apartments	250
For-Sale Residential	120
Commercial	118,100 sf

FINAL DEVELOPMENT PLAN – WAREHOUSE DISTRICT

The purposes of this amendment to the Final Development Plan of Pinestone is for the Warehouse Commercial District (the “Amended FDP - Warehouse District” or “FDP”)

The Amended FDP - Warehouse District incorporates the conditions, concepts, and structure of the approved Preliminary Development Plan for the Warehouse District without significant or major changes. A Final Development Plan for the Highway 25 Commercial District is not being submitted currently. The Amended FDP – Warehouse District provides the characteristics and specific design details of this commercial component of Pinestone. Many of these details were included in the Statement of Intent (the “SOI”) with amendments and Preliminary Development Plan (the “PDP”) which are incorporated into this submittal for reference as attachments.

Article 5:9.13 of the Zoning Ordinance of the City of Travelers Rest provides the requirements, information, and design details to be included in this FDP submittal. Those details are provided below and in attached exhibits.

Plan Details. The Zoning Ordinance requires the Amended FDP – Warehouse District to provide certain plan details including a vicinity map, title block, scale, north arrow, and property line survey. Those details are shown on the FDP Site Plan and FDP Rendered Site Plan which are incorporated into this submittal as attachments.

Building Location and Usage. The Zoning Ordinance requires the Amended FDP - Warehouse District to provide location and proposed use of all buildings or structures within the Planned Development and gross square footage. The location and proposed uses of the Warehouse District are depicted on the FDP which is incorporated into this submittal as an attachment. The square footage of the two buildings comprising the Warehouse District is 39,209. The SOI had stated the square footage of these buildings was 41,100. An as built survey was used to calculate the actual square footage of the buildings.

The gross square footage and locations of the Rental Apartments and the For Sale Residential units have previously been submitted and approved.

Boundary Street Names. The Zoning Ordinance requires the Amended FDP - Warehouse District to provide the names of any boundary streets. These are any streets external to the development that will be accessed by internal streets of the community. The Boundary Street Names are shown on the FDP Site Plan and FDP Rendered Site Plan which are incorporated into this submittal as attachments.

The Warehouse District is located adjacent to State Park Road, Lumpkin Street (the former “State Park Connector”), and the existing northern end of South End Circle. There is not direct access to State Park Road from the Warehouse District parcels. Ingress and egress are provided at Lumpkin Street and South End Circle. Patrons have multiple options leaving the Warehouse District, accessing State Park Road by Lumpkin Street or South End Circle, and Roe Road via Lumpkin Street or South End Circle. Pedestrian access is provided along South End Circle through a network of sidewalks connected the Warehouse District to the Rental Apartments and future Highway 25 Commercial. Additional pedestrian and bicycle access is provided at Lumpkin Street with a direct access to the greenway system that connects Pinestone to Roe Road and Main Street.

Residential Dwelling Units. The Zoning Ordinance requires the Final Development Plan to depict the number of residential dwelling units by type and number of bedrooms units in each. The total number of residential units has previously been submitted and approved but is provided below for reference:

USE	# OF UNITS/SF
Rental Apartments	250
For-Sale Residential	115

The Rental Apartments include 1, 2, and 3-bedroom units as well as four (4) live-work units. The breakdown of units by type is below.

UNIT TYPE	# OF UNITS
1 BEDROOM	112
2 BEDROOMS	108
3 BEDROOMS	30
LIVE-WORK	4*

*The Live Work apartments are included in the 1-bedroom totals.

The For-Sale Residential Units totals 115. The type of units is as shown below.

<u>TYPE</u>	<u># OF UNITS</u>
Detached	58
Attached (Townhome)	27
Duplex	2
Tri-plex and Four-plex	8*
Live/Work	1*
Accessory Dwelling Units	19*

*these units could be rental units

Each Townhome will have 2 or 3 bedrooms. For Sale Residential Unit will have 3-4 bedrooms.

Utility Easements. The Zoning Ordinance requires the Amended FDP - Warehouse District to indicate the location of all utility easements, both public and private. These utility easements include but are not limited to sanitary sewer, water, natural gas, electricity, and cable/internet. The proposed location of these easements is shown on an attachment which is incorporated into this submittal. Final locations of certain private utilities (i.e., electricity) could vary based on final design by the utility provider.

The locations of utility easement for the Rental Apartments and For Sale Residential has previously been submitted and approved.

Nonresidential Uses: Floor Area and Type. The Zoning Ordinance requires the Final Development Plan to indicate the total floor area for all nonresidential uses by type. The approved preliminary development plan for PineStone indicates a portion of the property designated for commercial uses totaling 118,100 square feet.

The Warehouse District includes two separate buildings. Building A (or the Lower Warehouse) and Building B (the Upper Warehouse) total 39,209 square feet. The uses and floor area of the Warehouse District is depicted on the FDP which are incorporated into this submittal as attachments.

Allowable land uses for the Warehouse District includes the following:

- Office including professional services, including real estate sales, building design center;
- Retail including business services such as florist and hair salons;
- Restaurant, including brewery space.

The expected square footage by each permitted use is shown below:

Land Use	Square Footage (SF)	Percent of Total SF	Flex SF by Use
Office	9,643	24.5%	6,862 or 17.5%
Retail	9,643	24.5%	6,862 or 17.5%
Restaurant*	19,923	51%	25,485 or 65%
TOTALS	39,209		

*Restaurant may include a brewery

The SOI stated the restaurant use could flex above the planned percentage to an amount not to exceed 65% so long as additional parking could be added.

Actual uses of the two buildings have not been determined except for a single user (design center) of 4,835 square feet. At the time of this FDP, there remains 4,575 square feet of office use planned for the buildings.

A portion of the Warehouse District property would be utilized for stormwater management provided through an underground storage facility as well as parking, ingress, and egress.

Open Space. The Zoning Ordinance requires the Amended FDP - Warehouse District to specify the proposed treatment or improvements of all open areas and delineating those areas proposed for specific types of developed recreational facilities. The open space to be provided in the Warehouse District including courtyards, covered space totals .095 acres or 22.2% of the total acreage. These open spaces are available to customers and the public.

The provided open space in the Rental Apartments and the For Sale Residential have been previously submitted and approved.

Off Street Parking. The Zoning Ordinance requires the Amended FDP - Warehouse District to indicate the location, dimensions, and number of all off street parking spaces, loading areas, and structures. The FDP details the on-site parking available for the Warehouse District.

The available parking for the Warehouse District includes access to the integrated parking provided at the Rental Apartments and For Sale Residential components of Pinestone. These designated parking areas are supplemented by undesignated on-street parking options along the Boulevard in the Rental Apartment component of Pinestone.

The above parking is in addition to on-site parking provided at the Warehouse District. A parking lot and associated driveways provides an additional 175 parking spaces to be constructed along with the adaptive reuse and renovations of the two warehouse buildings. An additional 25 parking spaces could be added to the site plan if needed to accommodate tenant demands. The base 175 parking spaces are shown on the FDP which is incorporated into this submittal.

The parking calculations for the Warehouse District are in conformity with those standards as described in the Warehouse District Statement of Intent.

Available parking for the Rental Apartments and For Sale Residential has previously been submitted and approved.

Land Use by Acreage. The Zoning Ordinance requires the Amended FDP – Warehouse District to indicate the number of acres devoted to each land use. The total acreage of the development is 47.92 acres. The total acreage accounted for in this Amended FDP – Warehouse District submittal is 4.67 acres. The breakdown of land uses is as follows:

LAND USE	ACREAGE
Single Family Residential (For Sale)	21.54 acres
Multifamily Residential (Rental Apartments)	13.92 acres
Commercial	9.28 acres

This breakdown is further indicated on the submitted FDP.

Buildings and Structures: Elevations and Design Standards. The Zoning Ordinance requires the Amended FDP – Warehouse District Final Development to provide sketches and/or elevations of typical buildings/structures and their design standards. Previous images included in the SOI of the Warehouse District are included for reference.

The architectural and design features of the Warehouse District is based on the creative adaptive reuse and renovation of the two (2) existing buildings. The elevations are provided as an attachment and indicate the reuse of the building's existing materials and complimentary materials including metal, wood, and composite siding.

The completed Warehouse District will include an accessible drop off area adjacent to the State Park Road frontage, covered outdoor spaces on both buildings and enhanced building entrances, and a landscaped entry plaza with public art and wayfaring.

The elevations and design standards of the apartments, the Live Work Units, and the both the attached and detached residential have previously been submitted and approved.

Traffic Circulation, Street Design Standards. The Zoning Ordinance requires the Amended FDP – Warehouse District to provide the site's traffic circulation plan, including the location of curb cuts and points of ingress/egress. The FDP must also include the location and width of all streets, drives, medians, service areas, dumpster pads, and entrances to parking areas. The above information and cross sections of

each street type and specific roadways are provided as attachments with details as follows:

- Lumpkin Street: 1) a 10' sidewalk with a 6' curb lawn (except to avoid existing trees on the westside of the roadway and a 6' sidewalk with 6' curb lawn on the eastside of the roadway; 2) street trees on both sides; 3) 12' travel lanes;
- An accessible drop off area provided through a round-a-bout with a landscaped island;
- A one-way service drive with an 18' travel lane along the southern property line connecting the on-site parking lot and South End Circle; the service road provides delivery options, trash pick-up; and
- Greenway connection: 10' shared path to connect State Park Road to Lumpkin Street South End Circle to loop through the Rental Apartments and For Sale Residential; as well as Roe Road and Main Street.

Except for Lumpkin Street, all parking and roadways located on the Warehouse District property are privately owned and maintained.

The remaining public and private roadways at Pinestone have been submitted and approved in the previous submitted Final Development Plan for the Rental Apartments and For Sale Residential.

Lighting. The Zoning Ordinance requires the Amended FDP – Warehouse District to provide the site's lighting plan, including the location, height, and type of all the exterior fixtures. A lighting plan for the Warehouse District development is provided as an attachment. The actual location of proposed street lights will be determined by Duke Power, the site's electrical provider. Additional exterior lighting will supplement the street light layout including lights affixed to the buildings, bollard lighting to illuminate seating areas and walkways, and landscape lighting (both ground and up-lighting).

Landscape and Screening Buffer Plan. The Zoning Ordinance requires the Amended FDP – Warehouse District to provide a landscape and screening/buffer plan.

The Warehouse District will include landscaped areas and a landscaped entry plaza with public art and wayfaring. Two basic layers of landscape form are incorporated into the landscape plan of the Warehouse District:

- Eye-level adds the sense of pedestrian scale including smaller ornamental trees, shrubs, hedges, fences, walls, and other hardscape elements; and
- Ground plane: consisting of natural groundcover as well as hardscape elements.

A landscape plan of the Warehouse District is provided as an attachment. A plant palette has been previously provided and approved.

Signage. The Zoning Ordinance requires the Amended FDP -Warehouse District to include a signage plan, including the location, height, and type of all exterior signs. The

basis for any signage begins with the use of the logo as depicted in the Brand Identity Manual (BIM) provided as an attachment.

The Warehouse District will have a monument sign as shown on the Site Plan along the State Park Road frontage indicating major tenants. This sign will meet the commercial signage criteria of the City of Travelers Rest and will have internal lighting.

It is intended Building A will have wall affixed signage facing Lumpkin Street and State Park Road according to the City's signage ordinance. Building B will have wall affixed signage facing State Park Road and South End Circle according to the City's signage ordinance.

Specific design of each of the above signs will be handled at the time of the request of a required signage permit.

Yard Dimensions. The Zoning Ordinance requires the Amended FDP – Warehouse District to indicate yard dimensions for the development boundaries and adjacent streets. The Warehouse District is comprised of three (3) lots owned by related development entities. No setbacks are intended between each of the three (3) parcels. Setbacks to adjacent parcels and streets are shown on the FDP.

Drainage Plan. The Zoning Ordinance requires the Amended FDP – Warehouse District to include a letter from the City Engineer stating that a detailed drainage plan has been submitted and approved. The submittal and letter are provided as an attachment. The drainage plan for the Warehouse District will include parking lot drains and an underground storage facility which will connect to the balance of the Pinestone drainage system previous submitted and approved.

Additional Information. Below is additional information necessary to fulfill the obligations of the FDP requirements and related to the additional conditions imposed by the City of Travelers Rest as part of the approval of the zoning for PineStone.

Wetlands. The Warehouse District does not include any wetlands. All other wetlands at Pinestone have been delineated and approved as part of the previous Final Development Plan for the Rental Apartments and the For Sale Residential Homes.

Covenants, Conditions, and Restrictions (CC&Rs). The Pinestone CC&Rs have been previously submitted and approved. These CC&Rs have been recorded in the public records of Greenville County. The Warehouse District will be owned by associated development entities and therefore no Commercial Association will be created. The property will be professionally managed.

Conditions of Zoning Approval. The City of Travelers Rest granted the approval to zone Pinestone to PD-R Planned Development Residential with seven (7) conditions as follows:

1. *If Commercial buildings A, B, and C are designed to include a 3rd floor, the additional square footage shall not exceed 50% of the second-floor square footage. Additional parking shall be included at ratios defined in the Statement of Intent to accommodate the additional square footage.* This condition is related to the Highway 25 Commercial component of Pinestone which is not the subject of this FDP submittal.
2. *All commercial uses allowed in a PD-R district must follow commercial C1 zoning district requirements. C1 does not permit drive thru restaurants.* The Warehouse District does not include any drive thru restaurants. This condition is also related to the Highway 25 Commercial component of Pinestone which is not the subject of this FDP submittal.
3. *The developer shall be responsible for all offsite improvements for traffic mitigation as required by SCDOT.* These improvements have been completed as part of the initial development of Pinestone.
4. *Complete the realignment of South End Circle and intersection with Roe Center Court prior to issuance of any Certificate of Occupancy.* South End Circle has been realigned with Roe Center Court as part of the initial development of Pinestone.
5. *Provide an entrance/street connection to State Park Road.* An entrance to State Park Road is shown on the FDP Lumpkin Street has been completed as part of the initial development of Pinestone.
6. *The City of Travelers Rest process for approving and accepting any infrastructure includes the submittal of a subdivision preliminary plan and Final Development Plan approved by the City of Travelers Rest Planning Commission.* The Amended FDP – Warehouse District is this submittal and is in addition to the previous submitted and approved Final Development Plan for the Rental Apartments and For Sale Residential. The subdivision preliminary plan and final plats were submitted to and approved by the Planning Commission and City staff respectively.
7. *The viewshed of the mountains to the north from U.S. Highway 25 are an important natural resource for the City. The developer shall demonstrate consideration of this viewshed in the final architectural massing, heights, and siting of the proposed building.* The architectural plans of the Rental Apartments were submitted and approved to ensure compliance. Final architectural plans of the Highway 25 commercial will be submitted at the time of that FDP for this portion of Pinestone to ensure further compliance. The existing buildings to be renovated as part of this Amended FDP - Warehouse District do not restrict views of the mountains.



November 13, 2019

Mr. Eric Vinson, City Administrator
City of Travelers Rest
125 Trailblazer Drive
Travelers Rest, South Carolina 29690

RE: Drainage Plan Review for the 43-Acre
Pinestone Development off Roe Road and
US Highway 25 in the City of Travelers Rest,
Greenville County, South Carolina
Project Number: 19211-0023

Dear Mr. Vinson:

Alliance Consulting Engineers, Inc. has reviewed the Drainage Plan for the 43-Acre Pinestone Development off Roe Road and US Highway 25 in the City of Travelers Rest, Greenville County. The Drainage Plans were acceptable related to the proposed reduction of storm water runoff from the property as it relates to Pre-Development and Post-Development Drainage Basin patterns, Land Use patterns, and proposed Storm Water Detention structures. Alliance Consulting Engineers, Inc. recommends approval of this Drainage Plan.

This is to advise that the subject design will be required to be in compliance with the City's latest minimum design standards for public roads and storm drains within the public right-of-way and gravity wastewater lines; however, this review and approval letter does not constitute an approval of Construction Drawings that will require a separate Plan Review. This letter also does not constitute approval for the Low Impact Development Techniques to address water quality as called for by the Statement of Intent.

If you have any questions or need any additional information, please do not hesitate to contact us at (864) 284-1740.

Very truly yours,

Alliance Consulting Engineers, Inc.

A handwritten signature in blue ink that reads 'Adam Hogan'.

Adam Hogan, PE, LEED Green Associate
Senior Project Manager

cc: Mr. Jimmy Wilson, Pinestone Capital, LLC
Mr. Jeff Randolph, TRG Communities
Ms. Patrea St. John, City of Travelers Rest
Mr. Joe Bryant, Seamon Whiteside Associates
Mr. Zack Dennis, Seamon Whiteside Associates
Mr. Deepal Eliatamby, PE, SCCED, Alliance Consulting Engineers, Inc.

Alliance Consulting Engineers, Inc.

124 Verdae Blvd., Bonaventure II, Suite 505 Greenville, SC 29607-3843 Phone 864 284-1740 Fax 864 284-1741 www.allianceCE.com

Bluffton, SC | Charleston, SC | Charlotte, NC | Columbia, SC | Greenville, SC



**CITY OF TRAVELERS REST
PLANNING & ZONING DEPARTMENT
PLANNING COMMISSION**

AGENDA ITEM

March 28, 2023

- CASE NUMBER:** TR 23-02
- SUBJECT:** Minor Changes to Pinestone PD
- APPLICANT:** Jeffery B. Randolph - Pinestone Opportunity Fund LLC and South End Circle LLC
- LOCATION:** State Park Road, Lumpkin Street, Roe Road, and South End Circle
- TAX MAP NUMBER(S):** Multiple
- REQUEST:** The applicant requests approval of Minor Changes to the Pinestone PD Statement of Intent, in accordance with the Pinestone Planned Development (PD) Preliminary Development Plan and Statement of Intent as approved by City Council via Ordinance #O-03-19. A list of proposed changes is attached to this report as Item A.
- BACKGROUND:** The City of Travelers Rest Zoning Ordinance states that Minor Changes to a PD district may be approved by the Planning Commission, acting upon the recommendation of the Planning Commission staff, provided that no minor change may be approved by the Planning Commission which is in conflict with specific conceptual considerations previously contained in City Council's preliminary approval.
- CONCLUSION:** The Planning Commission, acting upon the recommendation of the planning staff, may approve or disapprove the Minor Change requested by the applicant.
- STAFF REC'D:** Based on its findings, Staff recommends approval of the Minor Changes to the Pinestone Planned Development as described in attachment Item #2b-A of this report. These changes are of a design nature and do not alter the original concept or use characteristics of the approved Pinestone PD. Any additional changes to the PD will require additional review and approval by the Planning Commission.

ITEM #2b-A

Pinestone “Minor” FDP Changes as of 3/22/23

- Curb lawn width along west side of Pinestone Drive from Clubhouse entry drive to intersection of South End Circle at traffic circle;
- Curb Lawn width variances along Eubanks Drive from intersection with Pinestone Drive to intersection with Lumpkin Street;
- Greenway material changed from asphalt to concrete adjacent to Roe Road;
- Elimination of 5' sidewalk along Roe Road to serve townhomes;
- Adjustments to street tree placement at South End Circle near intersection with Roe Road to avoid slope and retaining wall;
- Relocation of Greenway from east side to west side of Lumpkin Street at Warehouse Commercial District;
- Placement of tree wells in curb lawns and adjacent sidewalks to accommodate curb lawn width adjustments along Pinestone Drive and Eubanks Street;
- Insertion of stone material in central park as a decorative feature to shield view of concrete headwalls, etc
- Final location of gang mailbox locations in single-family component of community;
- Final design and location of project identification signage for multi-family and single family components of community;

MEMORANDUM

DATE: March 28, 2023

TO: Travelers Rest Planning Commission

FROM: Michael Forman, AICP
Planning Director

SUBJECT: 2023 Comprehensive Plan Review

The City of Travelers Rest Planning Commission will have the opportunity to begin review of the Comprehensive Plan at their April 25, 2023 meeting.

There are ten elements that make up the Comprehensive Plan as a whole. All ten planning elements must be an expression of the Planning Commission's recommendations to City Council with regard to the wise and efficient use of public funds, the future growth, development, and redevelopment of its area of jurisdiction, and consideration of the fiscal impact on property owners. A Comprehensive Plan is not policy, however the Plan should guide all policy decision making in the city.

A Comprehensive Plan review is required by the State of South Carolina Planning Enabling Act as often as necessary, but not less than once every five years, to determine whether changes in the amount, kind, or direction of development of the area or other reasons make it desirable to make additions or amendments to the plan. The current plan was adopted by City Council in 2018. This review is not a new plan, but rather a complete review of the existing plan.

The review will occur over the course of the next six months, with a resolution from the Planning Commission in October, followed by City Council approval. Considerable public input will occur during the process.

A copy of the potential topics for discussion and review for future Planning Commission meetings is attached as Item 2c-A. Staff will assist the Planning Commission in guiding this process.

5-Year Update Review Outline

Decennial Statistics

- Population Growth (2010 – 2020)
- Number of Furman Students
- Yearly Traffic Counts (10 SCDOT counters in/adjacent to TR)
- Average/Median Housing Costs
- Average/Median Rent
- Average/Median Family Income
- Age Distribution

Planning Statistics

- Rezoning cases since 2018
- Major Subdivisions since 2018
- Total number of new lots added since 2018
- Total number of new dwelling units built by type since 2018

Transportation Statistics

- GPATS LRTP Road Projects in City
- GPATS funded road projects in City
- SCDOT Paving Projects in City
- State Roads
- City Roads
- Freight Data for US 25/276 (ACOG information)

Progress Report

- List of Recommendations from 2018 that have been completed
- Text Amendments prepared since 2018 Comp Plan
(Short Term Rental Ordinance, Tree Ordinance, Downtown Overlay)
- List of Growth Management Goals and Objectives in County Comp Plan

Maps

- Updated FLU
- Updated Community Facilities
- Updated Aerial
- Updated Zoning
- Updated Roads
- New Tree Canopy Coverage Maps

MEMORANDUM

DATE: March 28, 2023

TO: Travelers Rest Planning Commission

FROM: Michael Forman, AICP
Planning Director

SUBJECT: Planning Commission Meeting Schedule and Calendar

The City of Travelers Rest Planning Commission current schedule holds meetings on the 4th Tuesday of every month. Staff is requesting the Planning Commission consider revising the 2023 meeting calendar and subsequent years henceforth so that the Planning Commission's regularly scheduled meeting would occur on the 4th Thursday of every month.

Revising the date will give staff two additional days to process and review subdivision and zoning requests for Planning Commission consideration.

This is for informational purposes only, and to get the conversation started. Staff requests the Planning Commission to consider this change at their April 25, 2023 regularly scheduled meeting.

A copy of the existing schedule is attached as Item #3a-A.

2023 City of Travelers Rest Council & Committee Calendar

ITEM 3a-A

January						
Su	Mo	Tu	We	Th	Fr	Sa
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				
Invocation: Bumgarner						

February						
Su	Mo	Tu	We	Th	Fr	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28				
Invocation: Byers						

March						
Su	Mo	Tu	We	Th	Fr	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	
Invocation: Criss						

April						
Su	Mo	Tu	We	Th	Fr	Sa
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30						
Invocation: Floyd						

May						
Su	Mo	Tu	We	Th	Fr	Sa
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			
Invocation: Lane						

June						
Su	Mo	Tu	We	Th	Fr	Sa
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	
Invocation: Marrah						

July						
Su	Mo	Tu	We	Th	Fr	Sa
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					
Invocation: McCall						

August						
Su	Mo	Tu	We	Th	Fr	Sa
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	31		
Invocation: Vest						

September						
Su	Mo	Tu	We	Th	Fr	Sa
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
Invocation: Amidon						

October						
Su	Mo	Tu	We	Th	Fr	Sa
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				
Invocation: Bumgarner						

November						
Su	Mo	Tu	We	Th	Fr	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30		
Invocation: Byers						

December						
Su	Mo	Tu	We	Th	Fr	Sa
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						
Invocation: Criss						

Legend

- 5:00 p.m. Council Committee Meeting
- 6:00 p.m. City Council Meeting
- 6:00 p.m. Board of Zoning Appeals Meeting
- 6:00 p.m. Planning Commission Meeting

Holidays Observed

- *Meetings are subject to change
- *Meetings are held in Council Chambers
- *Calendar amended on 2/20/23 to include June 19th and November 11th as observed holidays